



SHIRE OF CARNARVON
SCHEDULES
ORDINARY COUNCIL MEETING
TUESDAY 22 FEBRUARY 2022

Council Chambers, Stuart Street
CARNARVON, West Australia
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City of Cockburn

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His Worship the Mayor
Logan K. Howlett, JP

27 August 2021

Cr Eddie Smith
President
Shire of Carnarvon
PO Box 459
CARNARVON WA 6701
Email: cr.esmith@carnarvon.wa.gov.au

Dear Eddie

PROPOSED FRIENDSHIP CITY/SHIRE RELATIONSHIP

I refer to the recent correspondence between our Chief Executive Officers in regard to a proposed Friendship City/Shire Relationship between our two local governments.

At the Ordinary Council Meeting on 12 August 2021, I confirm Council has endorsed the recommendation for a formal Friendship Agreement between the City of Cockburn and the Shire of Carnarvon.

I understand that a report to your Council will now be required for their consideration.

Please do not hesitate to advise if you require any information to assist in your report to Council to which your Chief Executive Officer, Ms Andrea Selvey can obtain from Mr Tony Brun, Chief Executive Officer at the City.

I look forward to hearing from you.

Yours sincerely

**His Worship the Mayor
Logan K. Howlett, JP**

CATEGORY	TASK	QUADRANT	STATUS	ACTION	START DATE	FINISH DATE	RESPONSIBLE OFFICER	COMMENTS	DATE LAST DESKTOP REVIEWED
1 Stabilising our Financial Position	Province Total Eren Lease	1	In progress	Working with DPLH and Province.	15/07/2021	1/01/2022	CEO	K&L Gates provided Options Paper on Sunday 13 Feb. Discuss Options Paper with ELT and then present the options paper to Council at March CIS.	14/02/2022
2 Leadership & Governance	Stabalise the structure and present budget for formal adoption by Council	1	Completed	Workshop with ELT and present in budget	1/07/2021	31/08/2021	CEO	Presented at CIS. Formally being presented to Council in July. Budget in August.	14/02/2022
3 Leadership & Governance	Foster positive organisation culture	1	In progress	Ongoing	1/07/2021	Ongoing	CEO	Ongoing - e.g. values awards. Staff meetings. Team Tales update weekly. Long service recognition. Consultation with staff on HR policies. Established a Leadership Team.	14/02/2022
4 Leadership & Governance	Proactive communication with Councillors	1	In progress	Ongoing - Provide timely and quality reports and updates. Avoid surprises. Develop a communication protocol	1/07/2021	Ongoing	CEO	Ongoing. Weekly updates. CIS, Agenda items. Daily meetings with Shire President.	14/02/2022
5 Leadership & Governance	Proactive communication with residents	1	In progress	Ongoing Increase proactive comms, transparency	1/07/2021	Ongoing	CEO	Ongoing. Customer Service Database - follow up on all requests and complaints lodged. Pastoralists updates - fortnightly. Social Media. Stakeholder meetings. Seniors meetings visits. Pastoral visits. Daily updates on fires.	14/02/2022
6 Leadership & Governance	Reg 17 Review	1	Completed	Mandatory. Outsourced by former Acting CEO.	1/07/2021	31/09/21	CEO	Report presented to Audit and Risk Committee on 31 August 2021	14/02/2022
7 Leadership & Governance	Blowholes shacks - leases	2	In progress	Legacy issue. Find way to move forward that is compliant and meets community need.	1/07/2021	1/12/2022	CEO	Council decision to commence building orders - 14 December 2022. Timeline to implement Building Orders provided to Council via Weekly Update and at CIS.	14/02/2022
8 Improve Town and Surrounds Amenities	Multi user facility Coral Bay	2	In progress	Develop Business Case	31/10/2021		CEO	Funding for Business case being progressed by GDC.	14/02/2022
9 Leadership & Governance	Community Strategic Plan inc. Comm	1	In progress	Community engagement process developed and commenced in Feb. Maybe/likely to be impacted by covid?	1/12/2021	1/07/2022	CEO	At risk of being impacted by Covid.	14/02/2022
10 Leadership & Governance	Governance Review Actions	1	In progress	Mandatory - to come out of review	30/09/2021		CEO	Spreadsheet of actions being considered by ELT. Updated report presented to Council at October 2021 meeting. Next update will be presented to Council in April 2022.	14/02/2022
11 Stabilising our Financial Position	REDS Grant	1	Completed	Develop Business Case	15/07/2021	31/10/2021	CEO	NEW ITEMS ADDED AFTER COUNCIL ADOPTED THIS LIST. Application for Workforce Accommodation in progress.	14/02/2022
12 Improve Town and Surrounds Amenities	Street Numbering	?	Not Commenced	Risk and needs tidy up. Service request from Mr John Wheelock	19/07/2021		CEO	NEW ITEMS ADDED AFTER COUNCIL ADOPTED THIS LIST	14/02/2022
13 Stabilising our Financial Position	Develop Long Term Financial Plan (LTFP)	2	In progress	Mandatory. Need to develop strategies to increase revenue. See also Leadership Tasks	16/01/2021	1/12/2022	CEO/FM	Started reviewing what we have, resources available before making a new spreadsheet/report that will cover whats needed. Also reviewing LTFP's of East Kimberly, Joondalup, Busselton, Kalamunda, Kalgoorlie, Mundaring and our own. Workshop mandatory/discretion with Councillors in March.	
14 Improve Town and Surrounds Amenities	Worker accommodation Coral Bay	2	Completed	Paper presented to Council	1/07/2021	7/07/2021	EMD	Scheme amendment changes provides an option for workforce accommodation.	15/2/22
15 Improve Town and Surrounds Amenities	Social issues	1	In progress	Shire has assumed a defacto leadership role	1/07/2021	Ongoing	CEO	Intensive Family Intervention Strategy in draft. Consultation on draft being conducted.	14/02/2022
16 Improve Town and Surrounds Amenities	Little Kenya (Coral Bay)	2	In progress	Investigation - Management of complaints and compliance with Environmental Health and Building Standards. Risk exposure for the Shire is high.	1/07/2021	Nov-22	EMD	EHO completed a report on the area. Report found several issues and will be progressing towards compliance.	15/2/22
17 Improve Town and Surrounds Amenities	Riverbank/gullies management	2	In progress	Preparing Australian Communities Grant includes this element.	1/07/2021		EMD	Application for funding submitted.	15/2/22

18	Stabilising our Financial Position	Economic Development Strategy	2	Not commenced	Growth as a mechanism to also make our shire more sustainable.		Feb-23	EMD		15/2/22
19	Improve Town and Surrounds Amenities	Road Verges clear and manage dump	2	In progress	Compliance	1/02/2022	Ongoing	EMD	Letter sent to Plantation residents. Compliance checks to commence with contract ranger by late Feb/early March.	15/2/2022
20	Improve Town and Surrounds Amenities	Blowholes camp ground / caravan park	1	In progress	Revenue opportunity - needs some initial investment. Online bookings have assisted with management. Needs some planning and site works.	1/07/2021	30/06/2022	EMI	Is linked to LRCI project and day use development project. Both underway.	10-Feb-22
21	Fix What we have/Asset Management	Flood Damage repairs	1	In progress	Progress within funding parameters as quickly as possible. Keep stakeholders informed.	1/07/2021	31/03/2023	EMI	Tenders awarded except for Midalya Crossing which will go to Feb Council. Funding being finalised with DFES. Works to commence March.	10-Feb-22
22	Fix What we have/Asset Management	Divest unneeded / unwanted assets (building and land)	2	In progress		1/07/2021		EMI	Discussions with Dept of Lands. This action needs further workshopping with Council at March 2022 CIS.	10-Feb-22
23	Fix What we have/Asset Management	Property retention and disposal plan	2	In progress				EMI	Also part of workshop with Council at CIS in March 2022.	10-Feb-22
24	Improve Town and Surrounds Amenities	Townscape improvements	2	Not commenced	Plan and budget to determine what is needed and can be achieved			EMI		10-Feb-22
25	Fix What we have/Asset Management	Rural Road Network	1	Not commenced	Proactive management - long term planning including service levels			EMI	Strategy not commenced. New Rural Road Manager position in structure. Ready to commence recruitment.	15-Feb-22
26	Fix What we have/Asset Management	Planned asset maintenance program	1	Not commenced	Proposing to put condition assessment and maintainance planning as a project for this year's budget			EMI		16-Feb-22
27	Fix What we have/Asset Management	Asset Management Plans	1	In progress	Mandatory	1/10/2021	31/10/2022	EMI	Plans were developed previously and not fully completed. Intent is to contact consultant used previously to complete the AMPs. Airport AMP will be based on the new framework agreement with DOT - that is currently being reviewed. Assets and Plant review and consolidation commenced.	15-Feb-22
28	Fix What we have/Asset Management	Fascine Maintenance - ongoing dredging of waterway	2	In progress	Working with DoT and Minister Saffioti			EMI	New pen construction by DOT underway in Boat Harbour. Fascine channel dredge plan being refined by DOT.	10-Feb-22
29	Leadership & Governance	Develop prioritised list of shovel ready projects	2	In progress	Designs, QS Costings, Community consultation, business case	31/10/2022	Ongoing	EMI	New project manager in Infrastructure team to have this responsibility. Potential projects - replace levee gate valves, oil filter recycling at tipsite, tyre shredder at tipsite, Babbage Island Road sand drift erosion control, Speedway Road realignment,	15-Feb-22
30	Leadership & Governance	Corporate Plan/Asset Man Plans/LTFP	1	In progress	Mandatory - after SCP is reviewed	16/1/2021	1/12/2022	EMI & FM	Reviewing what we have, resources and plans of other shires	
31	Stabilising our Financial Position	Finalise 2019 / 2020 Annual Financial Statement	1	Completed	Mandatory	1/07/2021	7/07/2021	FM	COMPLETED	15/2/22
32	Stabilising our Financial Position	Develop 2021/22 Budget	1	Completed	Mandatory	1/07/2021	31/08/2021	FM	COMPLETED	15/2/22
33	Stabilising our Financial Position	Improve management of debt, including outstanding debt collections	1	In progress	Backlog as a project	15/2/22	Ongoing	FM	Ongoing commitment to collect old ingrained debts. This will take at least another year, however there has been some outstanding success to date. Possible sieze and sell some properties once the outstanding debt can be 100%confirmed.	15/2/22
34	Stabilising our Financial Position	Analysis of ratios and reversing the trend in asset renewal ratios.	2	In progress	Consider in LTFP	15/2/22	Ongoing	FM	Ongoing commitment not just the LTFP but also budgets. Fix what we have goes a long way towards improving the ratio.	15/2/22
35	Stabilising our Financial Position	Spot rating - node activity	1	In progress	Put on hold due to option for Diversification leases.	15/2/22	On hold	FM	Specified Area Rating more likely	15/2/22
36	Leadership & Governance	Workforce Plan	1	Not commenced	Mandatory as part of IPRF		8/01/2022	MPCS	AL 10.02.2022 - Not yet started. Document is planned to be released shortly after the SCP has been endorsed. The SCP will be required to help guide the WFP.	14/02/2022

37	Leadership & Governance	Policy Manual Review	2	In progress	Quotes for review received.	1/07/2022	28/02/2022	MPCS	AL 10.02.2022 - Purchase order issued to consultant to do a full review.	14/02/2022
38	Fix What we have/Asset Management	Quobba Gnaraloo Road	3	Completed	Election commitment	1/07/2021	21/12/2021	EMI		12-Oct-22
39	Fix What we have/Asset Management	Gnaraloo to Warroora Track	4	Completed	Elected Member motion	1/07/2021	31/08/2021	EMI	Report presented to Council at August Council meeting. Council resolved that the track is to remain open.	12-Oct-22
40	Improve Town and Surrounds Amenities	Entry Statement	3	In progress	\$150K election commitment. Shire to manage this project.			EMI		15-Feb-22
41	Improve Town and Surrounds Amenities	Skatepark	3	Not commenced	Project as per election commitment- also BBRF application			EMD	Lottery west application portal open aim to submit application by mid-March. Agenda item to Council in March.	15-Feb-22
42	Improve Town and Surrounds Amenities	Coral Bay Road and amenity improve	3	On hold	BBRF not successful			Not Assigned		
43	Fix What we have/Asset Management	OTC Dish - put on National Heritage List	3	Not commenced	To assist with grant funding			Not Assigned	Need to revisit this action in the context of lease with Thoth.	15-Feb-22
44	Fix What we have/Asset Management	OTC Dish	3	In progress	Negotating a lease with Thoth	1/10/2021	1/04/2022	CEO	Lease negotiations have been protracted. Also required negotiations with CipherTel to move their tower. Lease in final draft and should be executed within the coming month - expect by end March 2022.	14/02/2022
45	Fix What we have/Asset Management	One Mile Jetty	2	On hold				CEO	Participating in working group. No formal decisions from working group.	14/02/2022
46	Leadership & Governance	Managing service requests and complaints	2	Ongoing	System newly in place. Analysis of performance being carried out.	1/07/2021	Ongoing	SEO	Ongoing. Quarterly reports to Council.	15/02/22
47	Stabilising our Financial Position	Wise Park for possible housing development	2?	Completed	Investigated: - see across for detailed comment.	6/07/2021			DPLH officers advised that cancelling reserves for recreation purposes is a very difficult process. There would have to be very strong justification from Council to remove the reserve i.e., need to find out the original intent of it, why it was created as a reserve and then demonstrate that there are sufficient other public reserves in the area that can adequately serve the needs of the community. Also, if the reserve is to be used for residential purposes, it must be demonstrated that there is a demand for residential land and that there isn't already land available in that area. Likely the State Govt would charge the Shire commercial rate.	

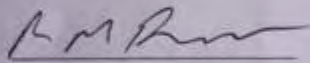
Column1	Column2	Column3	Column4
CHIE EXECUTIVE OFFICER	CEO		ANDREA
FINANCE MANAGER	FM		SUE
	CEO/FM		ANDREA/SUE
	EMI/FM		DAVID NEILSON/SUE
EXECUTIVE MANAGERS INFRASTRUCTURE	EMI		DAVID NEILSON
EXECUTIVE MANAGEMENT DEVELOPMENT	EMD		DAVID PERRY
SENIOR EXECUTIVE OFFICER	SEO		DANIELLE
GOVERNANCE MANAGER	MPCS		AMANDA LEIGHTON

To CEO
Shire of Carnarvon
Francis Street
Carnarvon WA 6701

Subject: Option to renew Gladstone Bay Lease, Carnarvon.

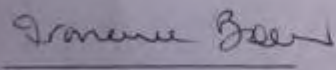
We, Richard McMillan Brown and Francine Brown of PMB 54, Yaringa Station, Carnarvon WA, wish to exercise the first further term under the Gladstone Bay Camping Lease.

Signed
Richard McMillan Brown



Date: 28th June 2021

Francine Brown



Date: 28th June 2021

MANAGEMENT PLAN
GLADSTONE BAY CAMPGROUND
CARNARVON

19 January 2022

Objective:

- To maintain Gladstone Bay as a wilderness campground.

Marketing:

- Members of Carnarvon Tourist Centre
- Advertise in Carnarvon holiday planner annually
- Facebook page
- Wikicamps
- Website

Amenities:

- Toilets x2 including 1 disabled access in a central area. Cleaned daily.
- Dump point next to toilets with a hose to clean after use.
- Hand basin nearby with hand soap.
- 2 x outback showers either side of access road.
- Storage unit used for rubbish bags, firewood, camp chairs, desk with officestationery.
- Pay station with information, fees, envelopes, pens, fishing safety brochures, relevant signs for campground information.
- Camp host assistant onsite as required.

Facilities:

- Communal firepit, woodfire pizza oven, woodfired BBQ, seating and tables with alarge, shaded gazebo picnic area with tables and chairs.
- Lawn area next to communal firepit and gazebo.
- Mini golf course with golf clubs and balls to access at all times.
- Easily accessible camp areas including roped off areas for non-trafficable areas.

Traffic Management:

- Road closure sign due to wet weather and advise council.
- Campground – slow on entry, watch out for pedestrians & vehicles, 10km signs.
- Campground guidelines in place.
- Designated overflow area if required.
- Designated big rig area – located in the southern end of the grounds.

MANAGEMENT PLAN
GLADSTONE BAY CAMPGROUND
CARNARVON

Emergency Response:

- Risk management – Firefighting unit, grader and front-end loader,
Evacuation Procedure
 - 1) Notify campers to evacuate ASAP.
 - 2) Take direction from relevant authorities.
 - 3) Once campground is evacuated, gate is locked to access the grounds.

Yaringa Station is a custodian for a RFDS Medicine Chest and in contact with RFDS if an emergency arises.

Defibrillator on campgrounds, located in the communal area.

Gladstone Bay Campground Regulations:

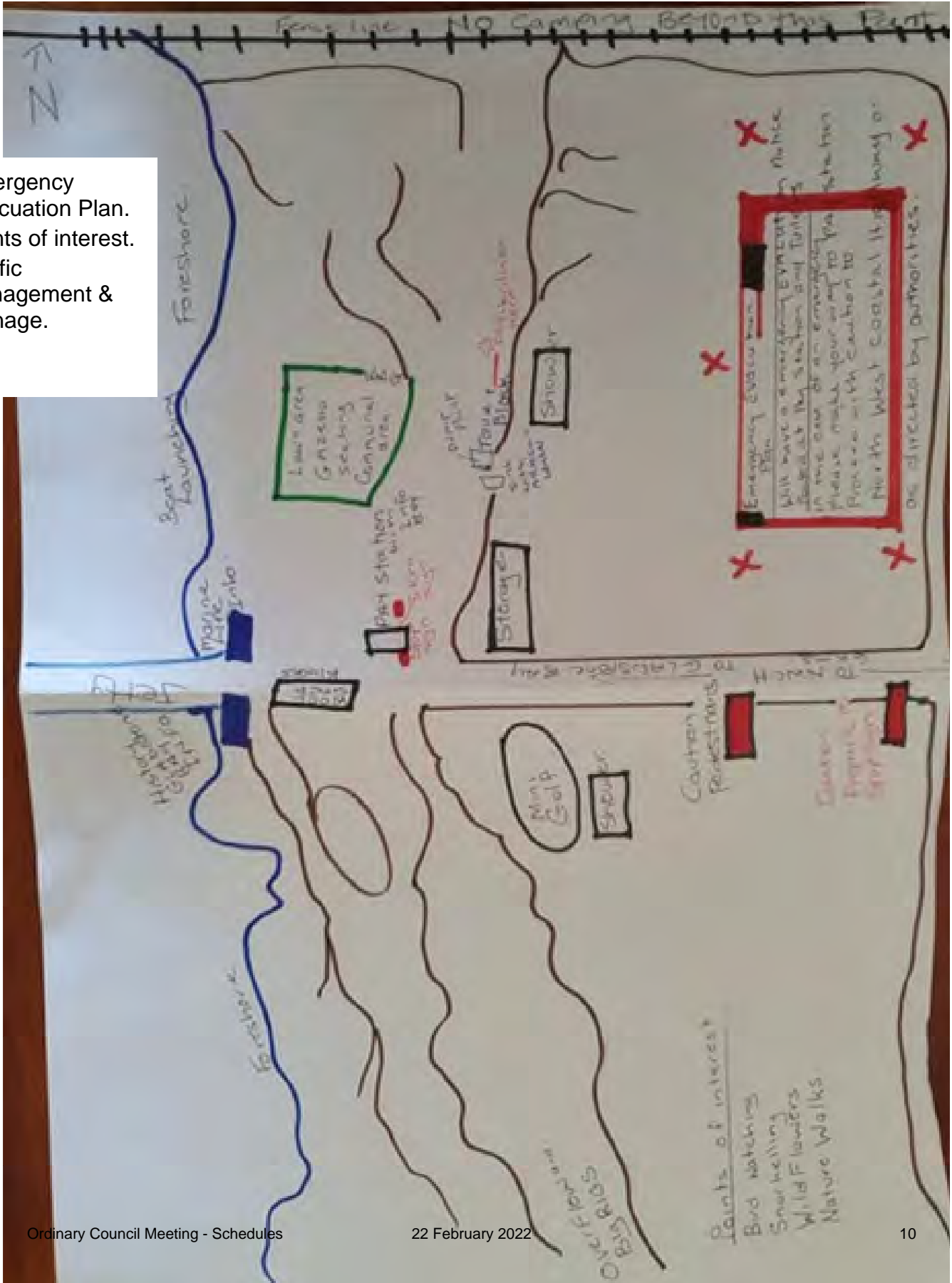
1. Please pay on arrival. Cash only. If unattended, please pay into white cylinder.
2. If you choose to extend your stay, fees to be paid into white cylinder prior to 3pm.
3. Artesian water is provided for shower, toilets and on tap. Not for Drinking.
4. Speed limit for campground is 8km/h, please observe signs, go slow and look out for other campers.
5. Boats and boat trailers to be parked as close as possible to your site.
6. Fish offal to be disposed way out at sea or buried away from campground.
7. Strictly no gathering of firewood dead or alive. Please consider the environment.
8. Dump point – please consider other campers, hose down after use with hose provided nearby.
9. No quad motor or trail bikes to be ridden in campground area without the permission of management.
10. No loud or abusive noise that may offend other guests. Quiet time after 9.30pm.
11. Generators strictly between 7.30am-9.30pm
12. Children must be supervised at ablution blocks.
13. Dogs must be on a leash, please pick up after your pets and dispose of correctly.
14. Please ensure your campsite is kept clean and tidy.
15. Zero tolerance for abusive and foul behavior towards staff and will result in cancellation of current and future bookings.

Thank you for your co-operation, enjoy your stay.

MANAGEMENT PLAN
GLADSTONE BAY CAMPGROUND
CARNARVON

• Site Plan

- Emergency Evacuation Plan.
- Points of interest.
- Traffic Management & Signage.



Desktop Valuation Report

Land Asset

Located at

Gladstone Bay
Lot 254 North Coastal Highway, Gladstone WA 6537

For Market Rental Value Purposes

Prepared for



11 October 2021

Regulated by RICS

Australian & International Valuation Solutions

Liability Limited by a Scheme of Arrangements under Part 5.03 of the Corporations Act 2006
Ordinary Council Meeting Schedules Professional Statement 22 February 2022

Griffin Valuation Advisory

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EXECUTIVE SUMMARY

Instructions

In accordance with instructions received from Mr. Renee Louw, Governance Officer at *Shire Carnarvon*, Griffin Valuation Advisory has valued the *Land Asset* on the basis of *Market Rental Value*.

Purpose of Valuation

Griffin Valuation Advisory have prepared this Desktop Valuation Report specifically for Market Rental Value Purposes.

Date of Valuation

This Desktop Valuation Report is dated:

11 October 2021

Location

The *Land Asset* is located at;

- ❖ *Gladstone Bay Lot 254 North Coastal Highway, Gladstone WA 6537*

Valuation

The valuation amounts contained in this Desktop Valuation Report are exclusive of the 10% Goods & Services Tax (GST) and are in Australian Dollars (AUD), unless expressly stated otherwise.

Subject to the overriding stipulations contained within this Desktop Valuation Report completed by Griffin Valuation Advisory, the *Land Asset* is valued as follows.

Asset Class	Market Rental Value @ 11/10/2021
Land Asset	\$ 9,000 Per Annum Net
Total Value	\$ 9,000 Per Annum Net

Nine Thousand Dollars (Per Annum Net).

This Desktop Valuation has been prepared by Mr. John Harvey, Principal Consultant | Asset Valuations. John has over 34 years combined professional property, plant, equipment, & infrastructure asset valuation experience and holds the following qualifications.

- ❖ Fellow Member of the Australian Property Institute (FAPI)
- ❖ API Certified Practicing Valuer
- ❖ Licensed Property Valuer in Western Australia (No.44074)
- ❖ Fellow Member of the Royal Institution of Chartered Surveyors (FRICS)
- ❖ Chartered Machinery Valuation Surveyor (RICS)
- ❖ RICS Registered Valuer

Declaration & Limitations

Griffin Valuation Advisory and their employees have no pecuniary interest in the outcome of this Desktop Valuation Report prepared for the *Shire of Carnarvon* or any subsidiaries.

This advice is prepared for internal purposes on the specific instructions of the *Shire of Carnarvon*. This advice should not be relied upon by anyone other than the *Shire of Carnarvon* whether for that purpose or otherwise.

Griffin Valuation Advisory accepts no responsibility to third parties nor does it contemplate that this report will be relied upon by third parties. We invite other parties who may come into possession of this report to seek our direct written consent before relying upon or referring to this report and we reserve our rights to review the content and context in which our advice is quoted or referred to in the event that our consent is given.

To any party relying on this Desktop Valuation Report Griffin Valuation Advisory advise that this executive summary must be read in conjunction with the body of the report which this executive summary forms part. This Desktop Valuation Report executive summary should not be relied upon in isolation for any other purpose, other than which this report is prepared.

Coronavirus (COVID-19) Market Clause

The outbreak of the Novel Coronavirus (COVID-19) was declared as a 'Global Pandemic' by the World Health Organisation on 11 March 2020. We have seen global financial markets and travel restrictions and recommendations being implemented by many countries, including Australia.

The real estate market is being impacted by the uncertainty that the COVID-19 outbreak has caused. Market conditions are changing daily at present. As at the date of valuation we consider that there is a significant market uncertainty.

Valuations are current at the date of valuation only. The value assessed herein may change significantly and unexpectedly over a relatively short period of time (including as a result of factors that the Valuer could not reasonably have been aware of as at the date of valuation). We do not accept responsibility or liability for any losses arising from such subsequent changes in value. Given the valuation uncertainty noted, we recommend that the user(s) of this report review this valuation periodically.

Whilst we are unaware of any recent sales evidence to indicate a softening in the market or capitalisation rates, the impact of the current COVID-19 Global Pandemic is being felt through recent falls in the stock market and reported tightening credit markets which are now cautioning investors and impacting on confidence. Anecdotal evidence from a number of recent sales campaigns suggests purchasers are "less motivated" and that a "wait and see" approach is prevailing in the market. These uncertainties create greater pricing/value risk, the precise impact of current market issues cannot be confirmed/measured until such time that sales occur under the prevailing conditions. The situation should be closely monitored.

QUALIFICATIONS

The valuation amounts contained in our Desktop Valuation Report are exclusive of the 10% Goods & Services Tax (GST). All valuation amounts contained in our Desktop Valuation Reports are in Australian Dollars (AUD), unless expressly stated otherwise.

In accordance with our standard practice, our valuations are solely for the use of the instructing party and to whom it is addressed. We take no responsibility for any third party that relies on the whole or any part of our valuations.

We must point out that neither the whole nor any part of our valuations, or any reference to, may be included in any documents, circular or statement without our prior approval of the form and context to which they are to appear.

Our valuations are prepared on the basis that full disclosure of all information and facts which may affect the valuation have been made to us, and we cannot accept liability or responsibility whatsoever for the valuation unless such full disclosure has been made.

No deduction has been made from our valuation in respect of any outstanding amounts owing under any finance leases or hire purchase agreements. The subject equipment has been valued as being wholly owned and free of all encumbrances.

This valuation has been prepared on the basis that full disclosure of all information and facts which may effect the valuation has been made to us. *Griffin Valuation Advisory* do not accept any liability or responsibility whatsoever for the valuation if full disclosure has not been made. Furthermore, *Griffin Valuation Advisory* do not accept responsibility for any consequential error or defect in the valuation which has resulted from any error, omission or inaccuracy in data or information supplied by the client or its officers and agents.

In reaching our opinion, *Griffin Valuation Advisory* have utilised certain historical facts and relevant market data, available up to the date of our valuation. Our instructions did not require us to consider the effect of gains or losses, which may arise as a result of the future fluctuations in the property market. *Griffin Valuation Advisory* therefore, do not except responsibility whatsoever, for losses caused by such fluctuations.

Griffin Valuation Advisory are members of the Australian Property Institute Valuers Limited (APIV) Limited Liability Scheme, which complies with "Liability limited by a scheme approved under Professional Standards Legislation".

Market Movement, "This valuation is current as at the date of valuation. The value assessed herein may change significantly and unexpectedly over a relatively short period (including as a result of general market movements or factors specific to the particular property). We do not accept liability for losses arising from such subsequent changes in value. Without limiting the generality of the above comment we do not assume any responsibility or accept any liabilities where this Desktop Valuation Report is relied after the expiration of three months from the date of the valuation."

Our valuations takes into account the assets in its present state and condition, based on information which we have established from information supplied to us by our client, information we have researched from public records and any other information which we have been able to obtain from reasonable inquiry.

Coronavirus (COVID-19) Market Clause

The outbreak of the Novel Coronavirus (COVID-19) was declared as a 'Global Pandemic' by the World Health Organisation on 11 March 2020. We have seen global financial markets and travel restrictions and recommendations being implemented by many countries, including Australia.

The real estate market is being impacted by the uncertainty that the COVID-19 outbreak has caused. Market conditions are changing daily at present. As at the date of valuation we consider that there is a significant market uncertainty.

Valuations are current at the date of valuation only. The value assessed herein may change significantly and unexpectedly over a relatively short period of time (including as a result of factors that the Valuer could not reasonably have been aware of as at the date of valuation). We do not accept responsibility or liability for any losses arising from such subsequent changes in value. Given the valuation uncertainty noted, we recommend that the user(s) of this report review this valuation periodically.

Whilst we are unaware of any recent sales evidence to indicate a softening in the market or capitalisation rates, the impact of the current COVID-19 Global Pandemic is being felt through recent falls in the stock market and reported tightening credit markets which are now cautioning investors and impacting on confidence. Anecdotal evidence from a number of recent sales campaigns suggests purchasers are “less motivated” and that a “wait and see” approach is prevailing in the market. These uncertainties create greater pricing/value risk, the precise impact of current market issues cannot be confirmed/measured until such time that sales occur under the prevailing conditions. The situation should be closely monitored.

Any delays caused by COVID 19 lockdown restrictions, is not deemed as a Force Majeure Event. In the event of any State or Federal Government mandated lockdown or travel restrictions impacting site inspections being able to be carried out, we will mutually agree with the client for an acceptable extension to the project timeline.

FORCE MAJEURE

Neither party will be held liable for any delay or failure to perform any of its obligations where such a failure is caused by a Force Majeure Event (other than the obligation to pay money) if, as soon as reasonably possible after the beginning of the Force Majeure Event the affected party gives a notice to the other party which complies with the following:

- (i) Specifies the obligations that the party cannot perform,
- (ii) Fully specifies the nature of the Force Majeure Event,
- (iii) Estimates a time by which the Force Majeure Event may cease, and
- (iv) Specifies the measures that are to be adopted to remedy or abate the Force Majeure Event.

The party prevented from performing its obligations due to the Force Majeure Event must:

- (i) Remedy the Force Majeure Event to the extent reasonably practicable and resume performance of the obligations as soon as reasonably possible, and
- (ii) Take all reasonable action to mitigate any losses that may be suffered by the other party as a result of the failure of the first mentioned party to carry out its obligations imposed by this Contract.

Where the Force Majeure Event prevents that Contractor from performing its obligations under the Contract, the Principal may obtain the Goods or Services from another source at its own cost.

An amendment to the Delivery Date or Service Completion Date (as relevant) is the Contractor's sole remedy for any delays resulting from a Force Majeure Event. The Contractor will not be entitled to payment of any damages, costs or expenses of the Contractor relating to the Force Majeure Event.

If the Force Majeure Event proceeds for a continuous period of 30 days or for successive periods totalling more than 30 days in a 60 day period, the Principal may, at its absolute discretion, terminate the Contract. In the event of such termination the Principal will not be liable to the Contractor for any Claims, liability or damage resulting directly or indirectly from the termination.

Neither the whole nor any part of this valuation nor any reference thereto may be included in any documents, circular or statement without our approval of the form and context in which it will appear.

Griffin Valuation Advisory

Griffin Valuation Advisory

Date: 19 October 2021 (Date of signing of report)

Ref: -21B

INSTRUCTIONS

In accordance with instructions received from Mr. Renee Louw, Governance Officer at *Shire of Carnarvon*, Griffin Valuation Advisory has valued the Land Asset on the basis of Market Rental Value.

PURPOSE OF VALUATION

Griffin Valuation Advisory have prepared this Desktop Valuation Report specifically for Market Rental Value Purposes.

DATE OF VALUATION

This Desktop Valuation Report is dated:

11 October 2021

LOCATION

The subject lease leased area is located at Gladstone Bay within the Shark Bay Marine Park approximately 140 Kilometres south of Carnarvon and approximately 340 kilometres North of Geraldton accessed via the Great Northern Highway.



Source Landgate

Site Identification:

Griffin Valuation Advisory has not sighted a survey plan however based upon information provided by the *Shire of Carnarvon*; we are satisfied that we have correctly identified the subject leased area.

Services and Amenities:

None

IMPROVEMENTS

Ablution block and gazebo (Not physically inspected or sighted)

LEGAL DESCRIPTION & ENCUMBRANCES

- The subject leased area forms part of Crown Reserve 11076, being Lot 254 on deposited plan 92298 contained within certificate of title volume LR3105 Folio 151.
- Reserve Under Management Order.
- The Primary Interest Holder is Shire of Carnarvon

BASIS OF VALUATION

Market Rental Value

Market Rental Value is defined as “The estimated amount for which a property, or space within a property, should lease on the date of valuation between a willing lessor and a willing lessee on appropriate lease terms in an arm’s-length transaction, after proper marketing wherein the parties had each acted knowledgeably, prudently, and without compulsion”.

VALUATION METHODOLOGY

Highest and Best Use

The Market Value of the land has been determined based on highest and best use. This method involves sourcing comparable Rental Evidence of similar type properties within the same or similar localities as the subject. This method takes into consideration factors such as location, zoning, land area, development potential and topography. Comparisons can be made in many forms including straight comparison, or analysis on a rate per area.

Valuation Approaches

In order to estimate the price implied by the appropriate Basis of Value, the Valuer will need to apply one or more valuation approaches. A valuation approach or method refers to generally accepted analytical methodologies that are in common use.

Market Based Valuation Approaches include:

Market based valuations normally employ one or more of the valuation approaches by applying the economic principle of substitution, using market derived data. This principle holds that a prudent person would not pay more for a good or service than the cost of acquiring an equally satisfactory substitute good or service, in the absence of the complicating factors of time, greater risk, or inconvenience. The lowest cost of the best alternative, whether a substitute or the original, tends to establish Market Value.

Sales/Rentals Direct Comparison Approach

This comparative approach considers the Sale/Rental of similar or substitute properties and related market data and establishes a value estimate by processes involving comparison. In general, a property being valued is compared with Sales/Rentals of similar properties that have been transacted in the market. Listings and offerings may also be considered.

Coronavirus (COVID-19) Market Clause

The outbreak of the Novel Coronavirus (COVID-19) was declared as a 'Global Pandemic' by the World Health Organisation on 11 March 2020. We have seen global financial markets and travel restrictions and recommendations being implemented by many countries, including Australia.

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Whilst we are unaware of any recent sales evidence to indicate a softening in the market or capitalisation rates, the impact of the current COVID-19 Global Pandemic is being felt through recent falls in the stock market and reported tightening credit markets which are now cautioning investors and impacting on confidence. Anecdotal evidence from a number of recent sales campaigns suggests purchasers are "less motivated" and that a "wait and see" approach is prevailing in the market. These uncertainties create greater pricing/value risk, the precise impact of current market issues cannot be confirmed/measured until such time that sales occur under the prevailing conditions. The situation should be closely monitored.

Income Capitalisation Approach

This comparative approach considers income and expense data relating to the property being valued and estimates value through a capitalisation process. Capitalisation relates income (usually a net income figure) and a defined value type by converting an income amount into a value estimate. This process may consider direct relationships (known as capitalisation rates), yield or discount rates (reflecting measures of return on investment), or both. In general, the principle of substitution holds that the income stream which produces the highest return commensurate with a given level of risk leads to the most probable value figure.

Market Rental Value

The Market Rental Value for the subject Lease has been determined on the basis of comparable rental evidence with similar market characteristics where possible, taking into consideration the size, type of leased area, zoning, current use, quality of the improvements and the location.

Methodology Conclusions

In determining the current Market Rental Value of the property, *Griffin Valuation Advisory* has considered the Market Rental comparison approach on a per annum and per square metre basis, taking into consideration the location and permitted use. Our final assessment has been based on an income approach.

TOWN PLANNING

The Shire of Carnarvon advise that the subject property does not in itself have a specific zoning but is reserved for public use in accordance with planning scheme 13:

- ❖ To set side areas abutting a body of water or water course, particularly, those required pursuant to State Planning Policy 2.6 State Coastal Planning Policy and any other Commission policy.
- ❖ To provide for the protection of natural values (terrestrial and marine), indigenous culture and heritage, a range of nature based active and passive recreational uses, community activities, and/or coastally dependent development that is temporary or easily relocatable with the amenity of the reservation.

ECONOMIC AND MARKET OVERVIEW ⁽¹⁾

The Australian Economy

In Australia, economic recovery stalled in Q3 amid the lockdowns imposed in the eastern states to combat the spread of the Delta variant of COVID-19. The renewed contraction in economic activity was evident across the wide range of data publications. Retail trade turnover fell in both July and August, while services saw sharp declines in August and September. Labour market conditions also deteriorated markedly. Employment dropped by almost 150k in August and hours worked retreated to the lowest level since February 2021, translating into a rise in the underemployment rate to a nine-month high. However, the headline unemployment rate remained low, slipping to 4.5% amid a drop in labour force participation.

The New South Wales and Victoria governments committed to easing COVID-related restrictions this quarter, after 70% and then 80% of population aged 16 years or over is vaccinated. As a result, economic activity is expected to bounce back in Q4, especially as the Aussie economy entered the current lockdowns with considerable momentum recording 0.7% GDP growth in Q2. Going further, however, the pace of recovery will depend on the reaction to the inevitable rise in infection rates.

The Western Australian Economy

Thanks to ongoing success in managing COVID-19, the Western Australian economy continues to outperform the other Australian states. Western Australia was the only state that saw a consistent growth in retail sales in June, July and August. It is also the only state that did not record a decline in payroll jobs since the outbreaks escalated over east. The unemployment rate is the lowest since the mining boom and the participation rate continued to climb, reaching the highest level in over five years.

The State Budget 2021-22 is forecasting that gross state product will accelerate to 3.5% in 2021-22 year from an estimated 3.25% growth in 2020-21, reflecting strong dwelling, business, and government investment. The net operating surplus climbed to a record A\$5.8 billion in 2020-21, with smaller but still substantial surpluses forecast across the forward estimates. While net debt will remain in check, not exceeding 11.5% of GSP at any stage in the following financial years, despite elevated public investment.

Financial Markets

Aussie bond yields fell over the first half of Q3, driven by a combination of overseas and domestic factors, with the lockdowns on the east coast adding to the downward pressure from the decline in global bond yields. At the long end of the curve, the 10-year Commonwealth bond yield fell to as low as 1.08% on 20 August, its lowest levels since late January.

(1) Source: Western Australian Treasury Corporation September Quarter 2021

MARKET RENTAL EVIDENCE

Rental Evidence Availability

This Desktop Valuation Report is based on information and Market Rental Evidence reasonably available to us at the date of valuation in accordance with standard valuation practice.

In some cases, the latest available Rental Evidence is provided verbally by real estate agents and other industry sources. It is specifically assumed that the information received by such sources in these instances is factually accurate.

Goods and Services Tax Status

In analysing Sales Evidence relied upon in undertaking this Desktop Valuation Report, we have attempted to ascertain whether or not the Sale and Rental prices are inclusive or exclusive of the Goods and Services Tax (GST). In regard to Sales & Rental Evidence, the Land Titles Offices (Landgate) in Western Australia, do not currently differentiate between or record whether or not the sale price is inclusive or exclusive of the GST. Where we have not been able to verify whether or not the GST is included, then we have assumed that it is inclusive of any GST payable. Should this not be the case, we reserve the right to amend this Desktop Valuation Report.

Privacy Issues

Due to privacy laws and or confidentiality agreements, we may not have been able to access personal details or parties involved in the transactions considered in connection with the preparation of this Desktop Valuation Report. Where this information is not available, we may not be able to confirm whether such dealings are arm's length transactions. This Desktop Valuation Report has been prepared assuming any such transactions are on an arm's length basis.

We further note that due to privacy laws and or confidentiality agreements, we may not have had access to information on recent transactions which have not yet become public knowledge. In the event that other transactions have taken place, this information may affect our opinion and we reserve the right to amend this Desktop Valuation Report.

Rental Evidence Vacant and to Let

Detailed as follows is a summary of properties currently for leased whose evidence along with trading figures from the lessee we have relied on in assessing the current Market Rental Value of the subject properties. Some of these properties have been inspected whilst others are based on information provided by various agents. We have made sufficient enquires to verify the Rental Evidence and made comparisons and adjustments with the subject properties to arrive at our final valuation.

Leasehold Vacant Land Evidence:

#1 Hopkins Street Lancelin WA 6044



Rental:	\$ 67,314 Pa
Date:	June 2020
Zoning:	Tourist
Land Area:	78,020 m2 (7.8Ha)
Description:	Vacant land
Analysis:	Shows an overall rate per annum of \$.086/m2 pa

Comments: Well-located established caravan park with ocean frontage access. Improvements include powered caravan bays, toilet facilities and managers residence. Lease has been renewed as at 30 June 2020 for an initial period of 21 years with a further option of 21 years. Better located than subject.

#2 North Court, Horricks Beach Horricks WA 6535



Rental:	\$ 20,151 per annum net
Date:	August 2021
Land Area:	19,313m2 (1.9Ha)
Description:	Retail Outlet
Analysis:	Shows \$ 1.04/m2 per annum net.

Comments: Well-located established caravan park with ocean frontage. Improvements include powered caravan bays, cabins, toilet facilities, managers. The Shire of Northampton advise there has been no increase in the ground rent since 2014. Smaller lot better than subject.

MARKET VALUE METHODOLOGY & CALCULATIONS

We have attempted to locate comparable rental evidence to apply a rate per annum to the subject leased area. Our investigations indicate that the subject facility is unique, in that it comprises of 580 ha of land of which approximately only 10 ha is used for camping facility with coastal access in and around the old timber jetty.

The two examples of market rental evidence above are traditional type caravan and camping sites that provide full amenities and are within town boundary indicating a ground rental rate of between \$.0.86- \$ 1.04/m2 per annum. These types of properties are generally held in Fee Simple or crown lease. Discussions with prominent caravan park brokers have advised that majority of land leased from the Crown for this type of activity generally commences at 5% of turnover increasing to 10% of turnover.

The subject property is Crown land and is leased from the *Shire of Carnarvon* for 3 terms of 7 years, commencing 1 December 2014 to 30 November 2035, total 21 years. Given the lack of directly comparable rental evidence we have adopted to apply the income approach based on turnover to establish the current market rental value. Information on the properties turnover and occupancy has been supplied to us by the current lessees. The lessee has also advised that approximately 80% of the income is from concession and 20% from full paying fees, that has been reflected in our estimated turnover figures below.

Rental Value Calculations

As stated above We have been unable to source directly comparable Market Rental Evidence for the subject leased area from within the Shire of Carnarvon and environs. We have therefore adopted an income approach based on the following information supplied to us by the Lessee. The lessee has confirmed that included in their lease are the Shire ablution building and improvements. We have applied a rate of 8% of turnover to arrive at our assessed market rental.

Estimated Turnover figures:

- ✓ Year 2018
- ✓ Occupancy 12,373 persons
- ✓ Average daily fee ranged from \$ 5.50 to \$ 10 per person adopt \$ 7/person
- ✓ Estimated turnover \$ 86,611 per annum

- ✓ Year 2019
- ✓ Occupancy 11,564 persons
- ✓ Average daily fee ranged from \$ 8 to \$ 11 per person adopt \$ 9/ person
- ✓ Estimated turnover \$ 104,076 per annum.

- ✓ Year 2020
- ✓ Occupancy 13,383 persons
- ✓ Average daily fee ranged from \$ 10 to \$ 13 per person adopt \$ 11/ person
- ✓ Estimated turnover \$ 147,213 per annum.

Calculations:

- ✓ \$ 86,611 Pa @ 8% \$ 6,928 per annum
- ✓ \$ 104,076 Pa @ 8% \$ 8,326 per annum
- ✓ \$ 147,213 Pa @ 8% \$ 11,777 per annum

Adopt \$ 9,000 per annum plus outgoings.

VALUATION ASSUMPTIONS

Griffin Valuation Advisory has not completed a physical inspection of this subject land asset. Our valuation has been based on the information provided by the client.

Should further information be supplied after this Desktop Valuation Report has been completed resulting in a significant variation to our original valuation, Griffin Valuation Advisory reserve the right to amend our valuation amounts accordingly.

Real Estate values vary from time to time in response to changing market circumstances and it should therefore be noted that this valuation is based on information available at the date of valuation. No warranty can be given as to the maintenance of this value into the future. It is therefore recommended that the valuation be reviewed periodically.

Inclusions

We have included in our valuation amounts, where appropriate.

- ❖ Ablution block and gazebo (Not physically inspected or sighted)

Exclusions

The following items have been excluded from this valuation (if applicable);

- ❖ All tenants Improvement Assets
- ❖ All tenants Plant & Equipment (Contents) Assets

GOODS AND SERVICES TAX

The Goods and Services Tax (GST) was introduced on the 1st July 2000, at which time rental payments for commercial leases are generally subject to the GST, except where deferred under transitional provisions which would expire on the 1st July 2005, at which time all commercial rental payments would be subject to the GST.

GST Liability

Liability for the GST on the purchase of property dependent upon:

1. Whether the vendor is registered for GST,
2. Whether the real property was sold as part of conducting and “enterprise”,
3. If the sale of the real property can be classified as the sale of a “going concern”, and
4. For residential property whether the real property has previously been sold.

Griffin Valuation Advisory recommend that clients seek further information regarding the nature of the transaction, the parties involved and confirmation from a professional qualified accountant, in relation to any potential GST liability.

GST Basis of Valuation

The valuation amounts provided within this Desktop Valuation Report are exclusive of the 10% GST and assumes that there is no GST payable on the Sale/Rental of the real property.

ENVIRONMENTAL

Site Contamination

As a consequence of the Contamination Sites Act 2003, a public register is now maintained in Western Australia on land that has been classified as being either contaminated or requires remedial work. *Griffin Valuation Advisory* has searched the register and as at the date of our valuation the subject land was not classified as being contaminated or requiring remedial work.

Native Title ⁽²⁾

Native title is the recognition in Australian law that some Indigenous people continue to hold rights to their lands and waters, which come from their traditional laws and customs. Native title exists as a bundle of rights and interests in relation to land and waters where the following conditions are met:

- *the rights and interest are possessed under the traditional laws currently acknowledged and the traditional customs currently observed by the relevant Indigenous people*
- *those Indigenous people have a ‘connection’ with the area in question by those traditional laws and customs; and*
- *the rights and interests are recognised by the common law of Australia.*

The Australian legal system does not recognise native title rights in some areas where things have been done that extinguish native title. These areas include:

- residential freehold
- farms held in freehold
- pastoral or agricultural leases that grant exclusive possession
- residential, commercial or community purpose leases
- public works like roads, schools or hospitals

As at the date of valuation, Griffin Valuation Advisory were unable to fully establish if any native title claim exists on the land.

(2) Source: Native Title Tribunal (www.nntt.gov.au)

DECLARATION & LIMITATIONS

Griffin Valuation Advisory and their employees have no pecuniary interest in the outcome of this Desktop Valuation Report prepared for the *Shire of Carnarvon* or any subsidiaries.

This advice is prepared for internal purposes on the specific instructions of the *Shire of Carnarvon*. This advice should not be relied upon by anyone other than the *Shire of Carnarvon* whether for that purpose or otherwise.

Griffin Valuation Advisory accepts no responsibility to third parties nor does it contemplate that this report will be relied upon by third parties. We invite other parties who may come into possession of this report to seek our direct written consent before relying upon or referring to this report and we reserve our rights to review the content and context in which our advice is quoted or referred to in the event that our consent is given.

Coronavirus (COVID-19) Market Clause

The outbreak of the Novel Coronavirus (COVID-19) was declared as a 'Global Pandemic' by the World Health Organisation on 11 March 2020. We have seen global financial markets and travel restrictions and recommendations being implemented by many countries, including Australia.

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VALUATION

The valuation amounts contained in this Desktop Valuation Report are exclusive of the 10% Goods & Services Tax (GST) and are in Australian Dollars (AUD), unless expressly stated otherwise.

Subject to the overriding stipulations contained within this Desktop Valuation Report completed by Griffin Valuation Advisory, the Land Asset is valued as follows.

Asset Class	Market Rental Value @ 11/10/2021
Land Asset	\$ 9,000 Per Annum Net
Total Value	\$ 9,000 Per Annum Net

Nine Thousand Dollars (Per Annum Net).

This Desktop Valuation has been prepared by Mr. John Harvey, Principal Consultant | Asset Valuations. John has over 34 years combined professional property, plant, equipment, & infrastructure asset valuation experience and holds the following qualifications.

- ❖ Fellow Member of the Australian Property Institute (FAPI)
- ❖ API Certified Practising Valuer
- ❖ Licensed Property Valuer in Western Australia (No.44074)
- ❖ Fellow Member of the Royal Institution of Chartered Surveyors (FRICS)
- ❖ Chartered Machinery Valuation Surveyor (RICS)
- ❖ RICS Registered Valuer



John Harvey FRICS FAPI (Val) (P&M)
RICS Registered Valuer | API Certified Practising Valuer
Principal Consultant | Asset Valuations

ADDENDUM A.

Executed Lease Agreement

COPY

ENQ: Carolien Claassens

23 June 2015

Shire of Carnarvon	
File	210246
Record	DCOR158252

Mr & Ms Brown
Private Mail Bag 54
Yaringa Station, Carnarvon
Western Australia

Dear Richard and Francine Brown,

Lease Agreement – Gladstone Camping Ground, Portion of Reserve 11706

Please find enclosed your copy of the fully executed lease agreement – Lease of Gladstone Camping Ground – Reserve 11706.

Kind Regards,



Carolien Claassens
Support Officer Corporate Services





Our Ref

Your Ref

TF:NE:CARN:34313

18 June 2015

Ms C Claassens
Support Officer, Corporate Services
Shire of Carnarvon
PO Box 459
CARNARVON WA 6701



Stirling Law Chambers
220 Stirling Highway
Claremont WA 6010
Tel (08) 9383 3133
Fax (08) 9383 4935
Email: mcleods@mcleods.com.au

Partners

Craig Starke (Managing Partner)
Denis McLeod
Neil Douglas
David Nadebaum
Andrew Roberts
Peter Wittkuhn
Fiona Grgich
Peter Gillett
David Nicholson

Dear Ms Claassens

Lease of Gladstone Camping Ground – Reserve 11706

We refer to previous correspondence in relation to the above matter.

Please find **enclosed** in duplicate the fully executed Lease. Please retain one copy for the Shire's records and return the other to Mr & Mrs Brown for their records.

If you have any queries in relation to the above, please contact Trudi Firth of this office

Yours faithfully

Contact: Trudi Firth
Direct line 9424 6205
Email: tfirth@mcleods.com.au
Partner responsible: Fiona Grgich

Enc: Lease x2

Shire of Carnarvon	
File	2L0246
Record	000R158252

Lease of Gladstone Camping Ground, Portion of Reserve 11706

Shire of Carnarvon

Richard McMillan Brown & Francine Brown



McLEODS

Barristers & Solicitors

Stirling Law Chambers | 220-222 Stirling Highway | CLAREMONT WA 6010

Tel: (08) 9383 3133 | Fax: (08) 9383 4935

Email: mcleods@mcleods.com.au

Ref: TF:CARN 34313

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Details

Parties

Shire of Carnarvon

of Post Office 459, Carnarvon, Western Australia
(Lessor)

Richard McMillan Brown and Francine Brown

both of Private Mail Bag 54, Yaringa Station, Carnarvon, Western Australia
(Lessee)

Background

- A The Lessor is the management body of the Land under the Management Order.
- B Under the Management Order, the Lessor has the power to lease the Land for any term not exceeding 21 years, subject to the approval of the Minister for Lands being first obtained.
- C The Lessee has requested that the Lessor grant it a lease of that part of the Land comprising the Gladstone Camping Ground, more particularly described in **Item 1** of the Schedule (**Premises**), and the Lessor has agreed subject to the parties entering into this lease agreement.

Agreed terms

1. Defined terms and interpretation

1.1 Defined terms

In this Lease, unless otherwise required by the context or subject matter:

Alterations means any of the acts referred to in **clauses 11.1(1)(b) and 11.1(1)(c)**;

Amounts Payable means the Rent and any other money payable by the Lessee under this Lease;

Authorised Person means:

- (a) an agent, employee, licensee or invitee of the Lessor; and
- (b) any person visiting the Premises with the express or implied consent of any person mentioned in paragraph (a);

Basic Consideration means all consideration (whether in money or otherwise) to be paid or provided by the Lessee for any supply or use of the Premises and any goods, services or other things provided by the Lessor under this Lease (other than tax payable pursuant to this clause);

CEO means the Chief Executive Officer for the time being of the Lessor or any person appointed by the Chief Executive Officer to perform any of her or his functions under this Lease;

Commencement Date means the date of commencement of the Term specified in **Item 4** of the Schedule;

CPI means the Consumer Price Index (All Groups) Perth number published from time to time by the Australian Bureau of Statistics;

Encumbrance means a mortgage, charge, lien, pledge, easement, restrictive covenant, writ, warrant or caveat and the claim stated in the caveat or anything described as an encumbrance on the Certificate of Title for the Land;

First Further Term means the further term specified in **Item 3(a)** of the Schedule;

Further Term means the further term(s) specified in **Item 3** of the Schedule;

Good Repair means good and substantial tenantable repair and in clean, good working order and condition;

GST has the meaning that it bears in the GST Act;

GST Act means *A New Tax System (Goods and Services Tax) Act 1999 (Cth)* and any legislation substituted for, replacing or amending that Act;

GST Adjustment Rate means the amount of any increase in the rate of tax imposed by the GST Law;

GST Law has the meaning that it bears in section 195-1 of the GST Act;

GST Rate means 10%, or such other figure equal to the rate of tax imposed by the GST Law;

Interest Rate means the rate at the time the payment falls due being 2% greater than the Lessor's general overdraft rate on borrowings from its bankers on amounts not exceeding \$100,000.00;

Land means the land described at **Item 1** of the Schedule;

Lease means this deed as supplemented, amended or varied from time to time;

Lessee's Agents includes:

- (a) the sublessees, employees, agents, contractors, invitees and licensees of the Lessee; and
- (b) any person on the Premises by the authority of a person specified in paragraph (a).

Lessee's Covenants means the covenants, agreements and obligations set out or implied in this Lease or imposed by law to be performed and observed by the Lessee;

Lessor's Covenants means the covenants, agreements and obligations set out or implied in this Lease, or imposed by law to be performed and observed by the Lessor;

Management Order means the Management Order made under section 46 of the *Land Administration Act 1997* under which the Land was vested in the Lessor;

Minister for Lands means the Minister for Lands in her or his capacity as the body corporate continued under section 7 of the *Land Administration Act 1997*;

Notice means each notice, demand, consent or authority given or made to any person under this Lease;

Party means the Lessor or the Lessee according to the context;

Permitted Purpose means the purpose set out in **Item 6** of the Schedule;

Premises means the premises described in **Item 1** of the Schedule;

Rent means the rent specified in **Item 5** of the Schedule as varied from time to time under this Lease;

Rent Period means each period from the Commencement Date or a Rent Review Date to the next Rent Review Date or Termination;

Rent Review Date means a date identified in **Item 8** of the Schedule;

Schedule means the Schedule to this Lease;

Second Further Term means the further term specified in **Item 3(b)** of the Schedule;

Term means the term of years specified in **Item 2** of the Schedule and any Further Term; and

Termination means expiry by effluxion of time or sooner determination of the Term or any period of holding over.

1.2 Interpretation

In this Lease, unless expressed to the contrary:

- (a) words importing:
 - (i) the singular includes the plural and vice versa; and
 - (ii) a gender or genders include each other gender;
- (b) if a word or phrase is assigned a particular meaning, other grammatical forms of that word or phrase have a corresponding meaning;
- (c) a reference to:
 - (i) a natural person includes a body corporate or local government;
 - (ii) a body corporate or local government includes a natural person;
 - (iii) a professional body includes a successor to or substitute for that body;
 - (iv) a Party includes its legal personal representatives, successors and assigns and if a Party comprises two or more persons, the legal personal representatives, successors and assigns of each of those persons;
 - (v) a statute, includes an ordinance, code, regulation, award, town planning scheme, regulation, local law, by-law, requisition, order or other statutory instruments made under any of them and a reference to any of them, whether or not by name, includes any amendments to, re-enactments of or replacements of any of them from time to time in force;
 - (vi) a right includes a benefit, remedy, discretion, authority or power;
 - (vii) an obligation includes a warranty or representation and a reference to a failure to observe or perform an obligation includes a breach of warranty or representation;

- (viii) this Lease or provisions of this Lease or any other deed, agreement, instrument or contract includes a reference to:
 - (A) both express and implied provisions; and
 - (B) that other deed, agreement, instrument or contract as varied, supplemented, replaced or amended;
- (ix) writing includes any mode of representing or reproducing words in tangible and permanently visible form and includes facsimile transmissions;
- (x) any thing (including, without limitation, any amount) is a reference to the whole or any part of it and a reference to a group of things or persons is a reference to any one or more of them; and
- (xi) a subparagraph, paragraph, subclause, clause, Item, Schedule or Annexure is a reference to, respectively, a subparagraph, paragraph, subclause, clause, Item, Schedule or Annexure of this Lease;
- (d) the covenants and obligations on the part of the Lessee not to do or omit to do any act or thing include:
 - (i) covenants not to permit that act or thing to be done or omitted to be done by the Lessee's Agents; and
 - (ii) a covenant to take all reasonable steps to ensure that that act or thing is not done or omitted to be done;
- (e) the meaning of general words or phrases is not limited by specific examples introduced by 'including', 'for example' or similar expressions; and
- (f) if a Party comprises two or more persons, the covenants and agreements on their part bind them and must be observed and performed by them jointly and each of them severally, and may be enforced against any one or more of them.

1.3 Headings

Except in the Schedule, headings do not affect the interpretation of this Lease.

2. Minister for Lands' consent

This Lease is subject to and conditional on the prior approval of the Minister for Lands under the *Land Administration Act 1997*.

3. Grant of Lease

Subject to **clause 2**, the Lessor leases to the Lessee the Premises for the Term subject to:

- (a) all Encumbrances;
- (b) the payment of the Amounts Payable; and
- (c) the performance and observance of the Lessee's Covenants.

4. Quiet enjoyment

Except as provided in the Lease, subject to the performance and observance of the Lessee's Covenants the Lessee may quietly hold and enjoy the Premises during the Term without any interruption or disturbance from the Lessor or persons lawfully claiming through or under the Lessor.

5. Rent and other payments

The Lessee covenants with the Lessor:

5.1 Rent

To pay to the Lessor the Rent in the manner set out at **Item 5** of the Schedule on and from the Commencement Date clear of any deductions.

5.2 Interest

Without affecting the rights, power and remedies of the Lessor under this Lease, to pay to the Lessor interest on demand on any Amounts Payable which are unpaid for 7 days computed from the due date for payment until payment is made and any interest payable under this paragraph will be charged at the Interest Rate.

5.3 Costs

(1) To pay to the Lessor on demand:

- (a) all duty, fines and penalties payable under the *Duties Act 2008* and other statutory duties or taxes payable on or in connection with this Lease;
- (b) all registration fees in connection with this Lease; and
- (c) all legal costs of and incidental to the instructions for the preparation, execution and stamping of this Lease and all copies.

(2) To pay to the Lessor all costs, legal fees, disbursements and payments incurred by or for which the Lessor is liable in connection with or incidental to:

- (a) the Amounts Payable or obtaining or attempting to obtain payment of the Amounts Payable under this Lease;
- (b) any breach of covenant by the Lessee or the Lessee's Agents;
- (c) the preparation and service of a notice under section 81 of the *Property Law Act 1969* requiring the Lessee to remedy a breach even though forfeiture for the breach may be avoided in a manner other than by relief granted by a Court;
- (d) any work done at the Lessee's request; and
- (e) any action or proceedings arising out of or incidental to any matters referred to in this **clause 5.3** or any matter arising out of this Lease.

5.4 Payment of Money

Amounts Payable to the Lessor under this Lease must be paid to the Lessor at the address of the Lessor referred to in this Lease or as otherwise directed by the Lessor by Notice from time to time.

6. Rent Review

- (1) The Rent will be reviewed on and from each Rent Review Date to determine the Rent to be paid by the Lessee until the next Rent Review Date.
- (2) The review will be either based on CPI or on market review. The basis for each review is as identified for each Rent Review Date in **Item 8** of the Schedule.
- (3) A Rent review based on CPI will increase the amount of Rent payable during the immediately preceding period by the percentage of any increase in CPI having regard to the quarterly CPI published immediately prior to the later of the Commencement Date or the last Rent Review Date as the case may be and the quarterly CPI published immediately prior to the relevant Rent Review Date. If there is a decrease in CPI having regard to the relevant CPI publications the Rent payable from the relevant Rent Review Date will be the same as the Rent payable during the immediately preceding period. Should the CPI be discontinued or suspended at any time or its method of computation substantially altered, the parties shall endeavour to agree upon the substitution of the CPI with an equivalent index, or failing agreement by the parties, the substitution shall be made by a Valuer appointed in accordance with paragraph (4) below.
- (4) A Rent review based on market review will establish the current rent for the Premises (which will not be less than the Rent payable in the period immediately preceding the Rent Review Date) by agreement between the parties and failing agreement; will be determined in accordance with the following provisions.
 - (a) The Lessor shall notify the Lessee of the amount that it reasonably considers is the current market rent for the Premises.
 - (b) If the Lessee does not dispute the amount notified, that amount becomes the Rent.
 - (c) If the Lessee disputes the current market rent as notified by the Lessor, it must notify the Lessor of that dispute (**Dispute Notice**) within 14 days after receiving the Lessee's notification. The Lessee must comply with this time limit to dispute the notified amount.
 - (d) If the Lessee gives a Dispute Notice, the current market then the current market rent for the Premises will be determined at the expense of the Lessee by a valuer (**Valuer**) licensed under the *Land Valuers Licensing Act 1978*, to be appointed, at the request of either Party, by the President for the time being of the Australian Property Institute (Western Australian Division) (or if such body no longer exists, such other body which is then substantially performing the functions performed at the Commencement Date by that Institute).
 - (e) The Valuer will act as an expert and not as an arbitrator and his or her decision will be final and binding on the Parties. The Parties will be entitled to make submissions to the Valuer.
 - (f) In this **clause**, "current market rent" means the rent obtainable for the Premises in a free and open market if the Premises were unoccupied and offered for rental for the use for which the Premises are permitted pursuant to this Lease and on the same terms and conditions contained in this Lease, BUT will not include:
 - (i) any improvements made or effected to the Premises by the Lessee; and
 - (ii) any rent free periods, discounts or other rental concessions.
- (5) Notwithstanding the provisions in this clause the Rent payable from any Rent Review will not be less than the Rent Fee payable in the period immediately preceding such Licence Fee Review Date.

- (6) The Lessor may institute a rent review notwithstanding the Rent Review Date has passed and the Lessor did not institute a licence fee review on or prior to that Rent Review Date, and in which case the Rent agreed or determined shall date back to and be payable from the Rent Review Date for which such review is made.

7. Insurance

7.1 Public Liability Insurance

The Lessee must effect and maintain with insurers approved by the Lessor noting the Lessor and the Lessee for their respective rights and interests in the Premises for the time being adequate public liability insurance for a sum not less than the sum set out at **Item 7** of the Schedule in respect of any one claim or such greater amount as the Lessor may from time to time reasonably require.

7.2 Workers Compensation and Accident Insurance

The Lessee must effect and maintain a policy of employers' indemnity insurance including workers' compensation insurance in respect of all employees of the Lessee employed in, about or from the Premises.

7.3 Details and receipts

In respect of the insurances required by **clauses 7.1 and 7.2** the Lessee must:

- (a) on demand supply to the Lessor details of the insurances and give to the Lessor copies of the certificates of currency in relation to those insurances;
- (b) promptly pay all premiums and produce to the Lessor each policy or certificate of currency and each receipt for premiums or certificate of currency issued by the insurers; and
- (c) notify the Lessor immediately:
 - (i) when an event occurs which gives rise or might give rise to a claim under or which could prejudice a policy of insurance; or
 - (ii) when a policy of insurance is cancelled.

7.4 Not to invalidate

The Lessee must not do or omit to do any act or thing or bring or keep anything on the Premises which might:

- (a) make any insurance effected under this clause on the Premises, or any adjoining premises, void or voidable; or
- (b) cause the rate of a premium to be increased for the Premises or any adjoining premises (except insofar as an approved development may lead to an increased premium).

7.5 Report

Each Party must report to the other promptly in writing, and in addition verbally in an emergency:

- (a) any damage to the Premises of which they are aware; and
- (b) any circumstances of which they are aware and which are likely to be a danger or cause any damage or danger to the Premises or to any person in or on the Premises.

7.6 Lessor as attorney

The Lessee irrevocably appoints the Lessor as the Lessee's attorney during the Term:

- (a) in respect to all matters and questions which may arise in relation to any insurances required by **clause 7.1**;
- (b) with full power to demand, sue for and recover and receive from any insurance company or society or person liable to pay the insurance money as are payable for the risks covered by the insurances required by **clause 7.1**;
- (c) to give good and effectual receipts and discharges for the insurance; and
- (d) to settle, adjust, arbitrate and compromise all claims and demands and generally to exercise all powers of absolute owner.

8. Indemnity

8.1 Responsibility of Lessee

The Lessee is responsible and liable for all acts or omissions of the Lessee's Agents on the Premises and for any breach by them of any covenants or terms in this Lease required to be performed or complied with by the Lessee.

8.2 Indemnity

- (1) The Lessee indemnifies, and shall keep indemnified, the Lessor and the Minister for Lands from and against all actions, claims, costs, proceedings, suits and demands whatsoever which may at any time be incurred or suffered by the Lessor and /or the Minister for Lands, or brought, maintained or made against the Lessor, in respect of:
 - (a) any loss whatsoever (including loss of use);
 - (b) injury or damage of, or to, any kind of property or thing; and
 - (c) the death of, or injury suffered by, any person,
caused by, contributed to, or arising out of, or in connection with, whether directly or indirectly:
 - (d) the use or occupation of the Premises by the Lessee or the Lessee's Agents;
 - (e) any work carried out by or on behalf of the Lessee on the Premises;
 - (f) the Lessee's activities, operations or business on, or other use of any kind of, the Premises;
 - (g) any default by the Lessee in the due and punctual performance, observance and compliance with any of the Lessee's covenants or obligations under this Lease; or
 - (h) an act or omission of the Lessee.

8.3 Obligations Continuing

The obligations of the Lessee under this clause:

- (a) are unaffected by the obligation of the Lessee to take out insurance, and the obligations of the Lessee to indemnify are paramount, however if insurance money is received by the

Lessor for any of the obligations set out in this clause then the Lessee's obligations under **clause 8.2** will be reduced by the extent of such payment; and

- (b) continue after the expiration or earlier determination of this Lease in respect of any act, deed, matter or thing occurring or arising as a result of an event which occurs before the expiration or earlier determination of this Lease.

8.4 No indemnity for Lessor's negligence

The parties agree that nothing in this clause shall require the Lessee to indemnify the Lessor, its officers, servants, or agents against any loss, damage, expense, action or claim arising out of a negligent or wrongful act or omission of the Lessor, or its servants, agents, contractors or invitees.

8.5 Release

(1) The Lessee:

- (a) agrees to occupy and use the Premises at the risk of the Lessee; and
- (b) releases to the full extent permitted by law, the Lessor from:
 - (i) any liability which may arise in respect of any accident or damage to property, the death of any person, injury to any person, or illness suffered by any person, occurring on the Premises or arising from the Lessee's use or occupation of the Premises by; and
 - (ii) loss of or damage to the Premises or personal property of the Lessee;

except to the extent that such loss or damage arises out of a negligent or wrongful act or omission of the Lessor, or its servants, agents, contractors or invitees.

- (2) The release by the Lessee continues after the expiration or earlier determination of this Lease in respect of any act, deed, matter or thing occurring or arising as a result of an event which occurs before the expiration or earlier determination of this Lease.

9. Limit of Lessor's liability

9.1 No liability for loss on Premises

The Lessor will not be liable for loss, damage or injury to any person or property in or about the Premises however occurring, except to the extent that such loss or damage arises out of a negligent or wrongful act or omission of the Lessor, or its servants, agents, contractors or invitees.

9.2 Limit on liability for breach of Lessor's covenants

The Lessor will not be liable for any failure to perform and observe any of the Lessor's Covenants due to any cause beyond the Lessor's control.

10. Maintenance, repair and cleaning

10.1 Maintenance

- (1) Subject to **clause 10.4**, the Lessee will maintain at its own expense the Premises including but not limited to any structural parts, plate glass, electrical installations, gas and water pipes and fittings, toilets, sanitary appliances, drains, septic tanks, leach drains, paths, paving, park or garden furniture, retaining walls, fences and reticulation in Good Repair.

- (2) In discharging the obligations imposed on the Lessee under this subclause, the Lessee shall where:
- (a) undertaking any maintenance or repair of a structural nature; or
 - (b) maintaining, replacing, repairing or cleaning:
 - (i) any electrical fittings and fixtures;
 - (ii) any plumbing;
 - (iii) any air-conditioning (which includes without limitation refrigeration, heating and mechanical ventilation);
 - (iv) any gas fittings and fixtures,

in or on the Premises, use only licensed trades persons; or such trades persons as may be approved by the Lessor and notified to the Lessee, which approval shall not be unreasonably withheld. The parties acknowledge and agree that this obligation will not apply to minor maintenance, replacement or cleaning requirements where specialist skills are not required, such as the replacement of light bulbs.

10.2 Repair

Subject to **clause 10.4**, the Lessee must promptly repair at its own expense to the satisfaction of the Lessor any damage to the Premises including damage of a structural nature, regardless of how it is caused.

10.3 No obligation on Lessor to repair or maintain

- (1) Subject to **clause 10.4**, the Lessee is wholly and solely responsible for the maintenance and repair of all buildings and improvements comprising the Premises, regardless of the cause of the need to repair or maintain, and regardless of the type of repair or maintenance required. The Lessor has no obligation whatsoever to repair or maintain any buildings or improvements comprising the Premises.
- (2) Any further development proposed on the Premises during the Term shall be the responsibility of and carried out by (and at the cost of) the Lessee, subject to the Lessee having obtained the prior consent of the Lessor, and all necessary statutory approvals.

10.4 Structural repair of ablution block

Notwithstanding any other provision of this Lease, the Lessor agrees to be responsible for the structural maintenance and repair of the ablution block constructed on the Premises at its cost.

10.5 Access Road

In relation to the access road to the Premises (**Access Road**), the Lessee covenants and agrees with the Lessor to:

- (a) undertake any minor maintenance works to the Access Road;
- (b) report to the Lessor, as soon as practicable, any major or significant works or repairs required to the Access Road;
- (c) ensure that appropriate road closures signs are in place, and remain in place, in the event that Access Road is unsafe and/or not-trafficable due to rain and similar such events;
- (d) report to the Lessor, as soon as is practicable, when the Access Road has been closed.

10.6 Maintain surroundings

The Lessee must regularly inspect and maintain in good condition any part of the Premises which surrounds any buildings including but not limited to any flora, gardens lawns, shrubs, hedges and trees.

10.7 Pest control

The Lessee must keep the Premises free of any vermin or any other recognised pests and the cost of extermination will be borne by the Lessee.

10.8 Comply with all reasonable conditions

The Lessee must comply with all reasonable conditions that may be imposed by the Lessor from time to time in relation to the Lessee's maintenance of the Premises.

10.9 Acknowledgement of state of repair of Premises

- (1) Following the final inspection to be undertaken prior to the Commencement Date, the Lessee accepts the Premises and the Land in its present condition relying upon its own enquiries and investigations.
- (2) The Lessor does not expressly or impliedly warrant that the Premises are now or will remain suitable or adequate for all or any of the purposes of the Lessee or for the business which the Lessee is authorised to conduct thereon and to the extent permitted by law, all warranties (if any) as to suitability and adequacy of the Premises implied by law are hereby expressly negated.

11. Alterations

11.1 Restriction

- (1) The Lessee must not without prior written consent:
 - (a)
 - (i) from the Lessor;
 - (ii) from any other person from whom consent is required under this Lease;
 - (iii) required under statute in force from time to time, including but not limited to the planning approval of the Lessee under a town planning scheme of the Lessee;
 - (b) make or allow to be made any alteration, addition or improvements to or demolish any part of the Premises; or
 - (c) remove alter or add to any fixtures, fittings or facilities in or on the Premises;

11.2 Consent

- (1) If the Lessor and any other person whose consent is required under this Lease or at law consents to any matter referred to in **clause 11.1** the Lessor may:
 - (a) consent subject to conditions; and
 - (i) require that work be carried out in accordance with plans and specifications approved by the Lessor or any other person giving consent; and
 - (ii) require that any alteration be carried out to the satisfaction of the Lessor under the supervision of an engineer or other consultant; and

- (b) if the Lessor consents to any matter referred to in **clause 11.1**:
 - (i) the Lessor gives no warranty that the Lessor will issue any consents, approvals, authorities, permits or policies under any statute for such matters; and
 - (ii) the Lessee must apply for and obtain all such consent approvals, authorities, permits or policies as are required at law before undertaking any alterations, additions, improvements or demolitions.

11.3 Cost of Works

All works undertaken under this clause will be carried out at the Lessee's expense.

11.4 Conditions

If any of the consents given by the Lessor or other persons whose consent is required under this Lease or at law require other works to be done by the Lessee as a condition of giving consent, then the Lessee must at the option of the Lessor either:

- (a) carry out those other works at the Lessee's expense; or
 - (b) permit the Lessor to carry out those other works at the Lessee's expense,
- in accordance with the Lessor's requirements.

11.5 No significant alterations until completion of Management Plan

Notwithstanding any other provision of this Lease, the Lessee acknowledges and agrees that the Lessor will not consent to any significant alterations or improvements to the Premises until such time as the Management Plan has been completed and approved by the Lessor.

12. Use

12.1 Restrictions on use

The Lessee must not and must not suffer or permit a person to:

- (a) (i) use the Premises or any part of it for any purpose other than for Permitted Purpose; or
- (ii) use the Premises for any purpose which is not permitted under any town planning scheme or any law relating to health;
- (b) do or carry out on the Premises any harmful, offensive or illegal act, matter or thing;
- (c) do or carry out on the Premises any thing which causes a nuisance, damage or disturbance to the Lessor or to owners or occupiers of adjoining properties;
- (d) store any dangerous compound or substance on or in the Premises;
- (e) do any act or thing which might result in excessive stress or harm to any part of the Premises; or
- (f) display from or affix any signs, notices or advertisements on the Premises without the prior written consent of the Lessor, which consent shall not be unreasonably withheld or delayed.

12.2 Disorderly Behaviour

The Lessee agrees to use its best endeavours to prevent disorderly behaviour and indecent language in the Premises at all times during the day and night.

12.3 No Warranty

The Lessor gives no warranty:

- (a) as to the use to which the Premises may be put; or
- (b) that the Lessor will issue any consents, approvals, authorities, permits or licences required by the Lessee under any statute for its use of the Premises.

12.4 Premises Subject to Restriction

The Lessee accepts the Premises for the Term subject to any existing prohibition or restriction on the use of the Premises.

12.5 Indemnity for Costs

The Lessee indemnifies the Lessor against any claims or demands for all costs, on a solicitor client basis, incurred by the Lessor by reason of any claim in relation to any matters set out in this clause.

13. Lessor's right of entry

13.1 Entry on Reasonable Notice

The Lessee must permit entry by the Lessor or any Authorised Person onto the Premises without notice in the case of an emergency, and otherwise upon reasonable notice:

- (a)
 - (i) at all reasonable times;
 - (ii) with or without workmen and others; and
 - (iii) with or without plant, equipment, machinery and materials;
- (b) for each of the following purposes:
 - (i) to inspect the state of repair of the Premises and to ensure compliance with the terms of this Lease;
 - (ii) to carry out any survey or works which the Lessor considers necessary, however the Lessor will not be liable to the Lessee for any compensation for such survey or works provided they are carried out in a manner which causes as little inconvenience as is reasonably possible to the Lessee;
 - (iii) to comply with the Lessor's Covenants or to comply with any notice or order of any authority in respect of the Premises for which the Lessor is liable; and
 - (iv) to do all matters or things to rectify any breach by the Lessee of any term of this Lease but the Lessor is under no obligation to rectify any breach and any rectification under this clause is without prejudice to the Lessor's other rights, remedies or powers under this Lease.

13.2 Costs of Rectifying Breach

All costs and expenses incurred by the Lessor as a result of any breach referred to at **clause 13.1(b)(iv)** together with any interest payable on such sums will be a debt due to the Lessor and payable to the Lessor by the Lessee on demand.

14. Statutory obligations and notices

14.1 Comply with Statutes

The Lessee must:

- (a) comply promptly with all statutes and local laws from time to time in force relating to the Premises, including without limitation the *Local Government Act 1995*, *Caravan Parks and Camping Ground Act 1995* and *Health Act 1911* and related regulations;
- (b) apply for, obtain and maintain in force all consents, approvals, authorities, licences and permits required under any statute for the use of the Premises specified at **clause 12**; and
- (c) comply promptly with all orders, notices, requisitions or directions of any competent authority relating to the Premises or to the business the Lessee carries on at the Premises.

14.2 Indemnity if Lessee Fails to Comply

The Lessee indemnifies the Lessor against:

- (a) failing to perform, discharge or execute any of the items referred to in **clause 14.1**; and
- (b) any claims, demands, costs or other payments of or incidental to any of the items referred to in **clause 14.1**.

except to the extent that any claim, demand, costs or other payments is caused or contributed to by the negligent or wrongful act or omission of the Lessor, or its servants, agents, contractors or invitees.

15. Special Covenants relating to Camping Ground

15.1 Maintenance Obligations

- (1) The Lessee covenants and agrees, at all times in respect of the Premises, to maintain, repair and replace (where deemed necessary by the Lessor acting reasonably):
 - (a) all lawns and gardens adequately and properly watered, fertilised tended and cared for;
 - (b) all fences in good order and repair and in a safe and functional condition;
 - (c) all parking areas, pathways, steps and ramps safely and properly surfaced and illuminated and free and clear of hazards;
 - (d) all direction and information signs, speed limit and other notices in all necessary positions clearly marked and in good order;
 - (e) all pumps, pressure units and equipment used in connection with or ancillary to any sewerage apparatus or any bore or other water supply source in sound and functional order; and

- (f) as frequently as necessary in the interests of health and hygiene but in any event no less frequently than required from time to time by the Lessor's Health Surveyor rubbish and litter collection from all parts of the Premises and the removal of all such rubbish and litter from the Premises to such authorised rubbish deposit site as the Lessor shall authorise.
- (2) The Lessee covenants and agrees to provide and maintain adequate and satisfactory receptacles for rubbish on the Premises.
- (3) The Lessee covenants and agrees to dispose of hot ashes and coals on the Premises as directed by the Lessor from time to time in accordance with those directions.

15.2 Reside in close Proximity to Premises

The Lessee covenants and agrees to reside on the Premises or in close proximity to the Premises throughout the Term and to personally supervise the management, conduct and use of the Premises and not without the prior written consent of the Lessor to appoint any other person to act as manager thereof provided that the Lessor shall not arbitrarily withhold its consent to such an appointment in the case of a responsible and respectable person the proof of which to the satisfaction of the Lessee and provided further that if during any time that such appointee resides on the Premises or in close proximity to the Premises and continues to manage the same to the satisfaction of the Lessor (as to which the Lessor shall be the sole arbiter) then the Lessee shall not be obliged to reside thereon or in close proximity of the Premises.

15.3 Keep Camping Ground open to the Public

- (1) Subject to weather conditions and access roads being trafficable, the Lessee covenants and agrees to keep the Premises open to members of the public for camping purposes on every day of the year and to operate a camping ground on the Premises in accordance with the best practices applicable thereto including maintaining adequate staff levels and standards, to provide to the customers thereof all services usually provided in camping ground of good repute and to use its best endeavours to extend and increase the business and custom thereof and to enhance the goodwill thereof.
- (2) The Lessee covenants and agrees to permit free and unimpeded pedestrian and vehicular access by the public at all times across and through the access way and the gates of the Premises and to permit parking by the public on the parking areas of the Premises.

15.4 Keep Records

- (1) The Lessee agrees to keep proper accounts for the Premises, and provide to the Lessor on an annual basis (and also upon written demand) full and accurate records of the number of attendees utilising the camping group.

16. Management Plan for Camping Ground

- (1) The Lessee acknowledges that the Lessor is in the process of preparing a management plan for the Premises (**Management Plan**).
- (2) Once the Management Plan has been adopted by the Council of the Lessor, the Lessor must provide a copy of the Management Plan to the Lessee for review and adoption.
- (3) The Lessee must review the Management Plan and notify the Lessor within 21 days of receipt of the Management Plan whether the Lessee agrees to adopt the Management Plan. If the Lessee fails to notify the Lessee within the time specified or refuses to adopt the Management Plan, then the parties covenant and agree that this Lease may be terminated by either party upon one month's written notice to the other party and the provisions of clauses **22** and **23** will then apply.

- (4) If the Lessee adopts the Management Plan, the Lessee from the date of such adoption must comply with and implement the terms of the Management Plan.
- (5) Subject to paragraph (6) below, following adoption of the Management Plan the Lessor may amend or vary the Management Plan, from time to time, for the purpose of the good management and order of the camping ground and surrounding land. The Lessor may not amend or vary the Management Plan in such a way, as to be inconsistent with the rights of the Lessee expressed or implied in this Lease.
- (6) The parties agree that any variation or amendment to the Management Plan is not effective and binding on the Lessee, until such time as the Lessee has been provided written notice of such variation or amendment.

17. Report to Lessor

The Lessee must immediately report to the Lessor:

- (a) any act of vandalism or any incident which occurs on or near the Premises which involves or is likely to involve a breach of the peace or become the subject of a report or complaint to the police and of which the Lessee is aware or should be aware;
- (b) any occurrence or circumstances in or near the Premises of which it becomes aware, which might reasonably be expected to cause, in or on the Premises, pollution of the environment; and
- (c) all notices, orders and summonses received by the Lessee and which affect the Premises and immediately deliver them to the Lessor.

18. Default

18.1 Events of Default

A default occurs if:

- (a) any Amounts Payable remain unpaid for 7 days after becoming due whether or not a demand or Notice has been given to the Lessee;
- (b) the Lessee is in breach of any of the Lessee's Covenants (other than the covenant to pay the Amounts Payable) for 14 days after a Notice has been given to the Lessee to rectify the breach or to pay compensation in money;
- (c) an order is made or a resolution effectively passed for the winding up of the Lessee unless the winding up is for the purpose of amalgamation or reconstruction;
- (d) a controller, as defined by the Corporations Act (Cth) 2001, is appointed in respect of the property of the Lessee under this Lease;
- (e) a mortgagee takes possession of the property of the Lessee under this Lease;
- (f) any execution or similar process is made against the Lessee's property on the Premises;
- (g) the Premises are vacated by the Lessee prior to Termination;
- (h) a person other than the Lessee or a permitted sub-lessee or assignee is in occupation or possession of the Premises or in receipt of rents or profits; or

- (i) any application is made or notice given or any other procedure started by which the registration of the Lessee is to be cancelled or dissolved under the Corporations Act (Cth) 2001.

18.2 Forfeiture

On the occurrence of any of the events of default specified in **clause 18.1** the Lessor may:

- (a) without notice or demand at any time enter the Premises and on re-entry the Term will immediately determine;
- (b) by notice to the Lessee determine this Lease and from the date of giving such notice this Lease will be absolutely determined; and
- (c) by notice to the Lessee elect to convert the unexpired portion of the Term into a tenancy from month to month when this Lease will be determined as from the giving of the notice and until the tenancy is determined the Lessee will hold the Premises from the Lessor as a tenant from month to month under **clause 20**,

but without affecting the right of action or other remedy which the Lessor has in respect of any other breach by the Lessee of the Lessee's Covenants or releasing the Lessee from liability in respect of the Lessee's Covenants.

18.3 Lessor may remedy breach

If the Lessee:

- (a) fails or neglects to pay the Amounts Payable by the Lessee under this Lease; or
- (b) does or fails to do anything which constitutes a breach of the Lessee's Covenants,

then, after the Lessor has given to the Lessee notice of the breach and the Lessee has failed to rectify the breach within a reasonable time, the Lessor may without affecting any right, remedy or power arising from that default pay the money due or do or cease the doing of the breach as if it were the Lessee and the Lessee must pay to the Lessor on demand the Lessor's cost and expenses of remedying each breach or default.

18.4 Acceptance of Amount Payable By Lessor

Demand for or acceptance of the Amounts Payable by the Lessor after an event of default has occurred will not affect the exercise by the Lessor of the rights and powers conferred on the Lessor by the terms of the Lease or at law and will not operate as an election by the Lessor to exercise or not to exercise any right or power.

18.5 Essential Terms

Each of the Lessee's Covenants in **clauses 5** (Rent and Other Payments), **7** (Insurance), **8** (Indemnity), **10** (Maintenance, Repair and Cleaning), **12** (Use), **24** (Assignment, Subletting and Charging), **15** (Special Covenants Relating to Camping Ground), **16** (Management Plan for Camping Ground), **28** (Goods and Services Tax), is an essential term of this Lease but this clause **18.5** does not mean or imply that there are no other essential terms in this Lease.

18.6 Breach of Essential Terms

If the Lessee breaches an essential term of this Lease then, in addition to any other remedy or entitlement of the Lessor:

- (a) the Lessee must compensate the Lessor for the loss or damage suffered by reason of the breach of that essential term;
- (b) the Lessor will be entitled to recover damages against the Lessee in respect of the breach of an essential term; and
- (c) the Lessee covenants with the Lessor that if the Term is determined:
 - (i) for breach of an essential term or the acceptance by the Lessor of a repudiation of this Lease by the Lessee; or
 - (ii) following the failure by the Lessee to comply with any notice given to the Lessee to remedy any default,

the Lessee must pay to the Lessor on demand the total of the Amounts Payable under this Lease which would have been payable by the Lessee for the unexpired balance of the Term as if the Term had expired by effluxion of time together with the losses incurred or reasonably expected to be incurred by the Lessor as a result of the early determination including but not limited to the costs of re-letting or attempting to re-let the Premises;

- (d) the Lessee agrees that the covenant set out in this **clause 18.6(c)** will survive termination or any deemed surrender at law of the estate granted by this Lease;
- (e) the Lessee may deduct from the amounts referred to at **clause 18.6(c)** the Rent and other money which the Lessor reasonably expects to obtain by re-letting the Premises between the date of Termination and the date on which the Term would have expired by effluxion of time; and
- (f) the Lessor must take reasonable steps to mitigate its losses and endeavour to re-let the Premises at a reasonable rent and on reasonable terms but the Lessor is not required to offer or accept rent or terms which are the same or similar to the rent or terms contained or implied in this Lease.

19. Option to renew

If the Lessee at least three months, but not earlier than six months, prior to the date for commencement of the First Further Term or the Second Further Term (as the case may be) gives the Lessor a Notice to grant the Further Term and:

- (a) all consents and approvals required by the terms of this Lease or at law have been obtained; and
- (b) there is no subsisting default by the Lessee at the date of service of the Notice in:
 - (i) the payment of Amounts Payable; or
 - (ii) the performance or observance of the Lessee's Covenants,

the Lessor shall grant to the Lessee a lease for the First Further Term or the Second Further Term (as the case may be) at the Rent and on terms and conditions similar to this Lease other than this **clause 19** in respect of any Further Term previously taken or the subject of the present exercise and on such other terms and conditions as the Lessor may consider appropriate.

20. Holding over

If the Lessee remains in possession of the Premises after the expiry of the Term with the consent of the Lessor, the Lessee will be a monthly tenant of the Lessor at a rent equivalent to one twelfth

of the Rent for the period immediately preceding expiry of the Term and otherwise on the same terms and conditions of this Lease provided that all consents required under this Lease or at law have been obtained to the Lessee being in possession of the Premises as a monthly tenant.

21. Restore premises

Prior to Termination, the Lessee at the Lessee's expense must restore the Premises to a condition consistent with the observance and performance by the Lessee of the Lessee's Covenants under this Lease fair wear and tear excepted.

22. Yield up the premises

22.1 Peacefully surrender

On Termination the Lessee must:

- (a) peacefully surrender and yield up to the Lessor the Premises in a condition consistent with the observance and performance of the Lessee's Covenants under this Lease;
- (b) surrender to the Lessor all keys and security access devices and combination for locks providing an access to or within the Premises held by the Lessee whether or not provided by the Lessor.

22.2 Clause 22.1 to survive termination

The Lessee's obligation under **clause 22.1** will survive termination.

23. Removal of property from Premises

23.1 Remove property prior to termination

(1) Prior to Termination, the:

- (a) Lessee must remove from the Premises all property of the Lessee which is not a fixture other than air-conditioning plant and fire equipment, security alarms and security systems and other fixtures and fittings which in the opinion of the Lessor form an integral part of the Premises and promptly make good, to the satisfaction of the Lessor, any damage caused by the removal; or
- (b) Lessor and the Lessee may agree in writing for the Lessor to purchase any or all of the Lessee's property at an agreed price or prices.

23.2 Lessor can remove property on re-entry

On re-entry the Lessor will have the right to remove from the Premises any property of the Lessee and the Lessee indemnifies the Lessor against all damage caused by the removal of and the cost of storing that property.

24. Assignment, sub-letting and charging

24.1 No assignment or sub-letting without consent

The Lessee must not assign the leasehold estate in the Premises nor sub-let, part with possession, or dispose of the Premises or any part of the Premises without the prior written consent of the Lessor, the Minister for Lands and any other person whose consent is required under this Lease or at law

24.2 Lessor's Consent to Assignment and Subletting

Provided all parties whose consent is required, under this Lease or at law, to an assignment or sub-letting, give their consent and any assignment or sublease is for a purpose consistent with the use of the Premises permitted by this Lease then the Lessor may not unreasonably withhold its consent to the assignment or sub-letting of the leasehold estate created by this Lease if:

- (a) the proposed assignee or sublessee is a respectable and responsible person of good financial standing;
- (b) the Lessor's Council has resolved to consent to the assignment or subletting;
- (c) all Amounts Payable due and payable have been paid and there is no existing unremedied breach, whether notified to the Lessee or not, of any of the Lessee's Covenants;
- (d) the Lessee procures the execution by -
 - (i) the proposed assignee of a deed of assignment; or
 - (ii) the proposed sublessee of a deed of sublease,to which the Lessor is a party and which deed is prepared and completed by the Lessor's solicitors; and
- (e) the assignment contains a covenant by the assignee or sublessee with the Lessor to pay all Amounts Payable and to perform and observe all the Lessee's Covenants.

24.3 Consents of Assignee Supplementary

The covenants and agreements on the part of any assignee will be supplementary to the Lessee's Covenants and will not release the assigning lessee from the Lessee's Covenants.

24.4 Property Law Act 1969

Sections 80 and 82 of the *Property Law Act 1969* are excluded.

24.5 Costs for assignment and sub-letting

If the Lessee wishes to assign or sub-let the leasehold estate created by this Lease the Lessee must pay all reasonable professional and other costs, charges and expenses, incurred by the Lessor or other person whose consent is required under this Lease, of and incidental to:

- (a) the enquiries made by or on behalf of the Lessor as to the respectability, responsibility and financial standing of each proposed assignee or sublessee;
- (b) any consents required under this Lease or at law; and
- (c) all other matters relating to the proposed assignment or sub-letting,

whether or not the assignment or sub-letting proceeds.

24.6 No mortgage or charge

The Lessee must not mortgage or charge the Premises.

25. Damage or Destruction of Premises

If the Premises or any part of the Premises are totally or partially destroyed so as to require major rebuilding either party may within 2 months of the destruction or the damage terminate the Term with immediate effect by giving Notice to the other party.

26. Notice

26.1 Form of delivery

A Notice to a Party must be in writing and may be given or made:

- (a) by delivery to the Party personally; or
- (b) by addressing it to the Party and leaving it at or posting it by registered post to the address of the Party appearing in this Lease or any other address nominated by a Party by Notice to the other.

26.2 Service of notice

A Notice to a Party is deemed to be given or made:

- (a) if by personal delivery, when delivered;
- (b) if by leaving the Notice at an address specified in **clause 26.1(b)**, at the time of leaving the Notice, provided the Notice is left during normal business hours; and
- (c) if by post to an address specified in **clause 26.1(b)**, on the second business day following the date of posting of the Notice.

26.3 Signing of notice

A Notice to a Party may be signed:

- (a) if given by an individual, by the person giving the Notice;
- (b) if given by a corporation, by a director, secretary or manager of that corporation;
- (c) if given by a local government, by the CEO;
- (d) if given by an association incorporated under the *Associations Incorporation Act 1987*, by any person authorised to do so by the board or committee of management of the association; or
- (e) by a solicitor or other agent of the individual, corporation, local government or association giving the Notice.

27. Disputes

27.1 Appointment of arbitrator

Except as otherwise provided any dispute arising out of this Lease is to be determined by a single arbitrator under the provisions of the *Commercial Arbitration Act 1985* and the Lessor and the Lessee may each be represented by a legal practitioner.

27.2 Payment of amounts payable to date of award

The Lessee must pay the Amounts Payable without deduction to the date of the award of the Arbitrator or the date of an agreement between the Parties whichever event is the earlier, and if any money paid by the Lessee is not required to be paid within the terms of the award of the Arbitrator or by agreement between the Lessor and the Lessee then the Lessor will refund to the Lessee the monies paid.

28. Goods and Services Tax

(a) Lessee must Pay

If GST is payable on the Basic Consideration or any part thereof or if the Lessor is liable to pay GST in connection with the sublease of the Premises or any goods, services or other Taxable Supply supplied under this Lease then, as from the date of any such introduction or application:

- (i) the Lessor may increase the Basic Consideration or the relevant part thereof by an amount which is equal to the GST Rate; and
- (ii) the Lessee shall pay the increased Basic Consideration on the due date for payment by the Sublessee of the Basic Consideration.

(b) Increase in GST

If, at any time, the GST Rate is increased, the Lessor may, in addition to the GST Rate, increase the Basic Consideration by the GST Adjustment Rate and such amount shall be payable in accordance with this clause.

(c) GST invoice

Where the Basic Consideration is to be increased to account for GST pursuant to this clause the Lessor shall in the month in which the Basic Consideration is to be paid, issue a Tax Invoice which enables the Lessee to submit a claim for a credit or refund of GST.

29. Caveat

29.1 No absolute caveat

The Lessee nor any person on behalf of the Lessee will, without the prior written consent of the Lessor, lodge any absolute caveat at Landgate against the Certificate of Title for the Land, to protect the interests of the Lessee under this Lease.

29.2 CEO & Lessor as attorney

In consideration of the Lessor having granted this Lease to the Lessee, the Lessee irrevocably appoints the Lessor and the CEO of the Lessor jointly and severally:

- (a) for the Term of this Lease;
- (b) for any holding over under this Lease; and
- (c) for a period of 6 months after Termination,

to be the agent and attorney of the Lessee in its name and on its behalf to sign and lodge at Landgate:

- (d) a withdrawal of any absolute caveat lodged by or on behalf of the Lessee;
- (e) a withdrawal of any caveat lodged by or on behalf of the Lessee and not withdrawn on Termination; and
- (f) a surrender of the estate granted by this Lease,

and the costs of withdrawing any caveat or surrendering this Lease (including the Lessor's solicitor's costs and registration fees) will be borne by the Lessee.

29.3 Ratification

The Lessee undertakes to ratify all the acts performed by or caused to be performed by the Lessor, its agent or attorney under **clause 29.2**.

29.4 Indemnity

The Lessee indemnifies the Lessor against:

- (a) any loss arising directly from any act done under **clause 29**; and
- (b) all costs and expenses incurred in connection with the performance of any act by the attorney on behalf of the Lessee under **clause 29**.

30. Acts by agents

All acts and things which the Lessor is required to do under this Lease may be done by the Lessor, the CEO, an officer or the agent, solicitor, contractor or employee of the Lessor.

31. Severance

If any part of this Lease is or becomes void or unenforceable, that part is or will be severed from this Lease to the intent that all parts that are not or do not become void or unenforceable remain in full force and effect and are unaffected by that severance.

32. Variation

This Lease may be varied only by deed executed by the parties subject to such consents as are required by this Lease or at law.

33. Moratorium

The provisions of a statute which would but for this clause extend or postpone the date of payment of money, reduce the rate of interest or abrogate, nullify, postpone or otherwise affect the terms of this Lease do not, to the fullest extent permitted by law, apply to limit the terms of this Lease.

34. Further assurance

The Parties must execute and do all acts and things necessary or desirable to implement and give full effect to the terms of this Lease.

35. Waiver

35.1 No general waiver

Failure to exercise or delay in exercising any right, power or privilege in this Lease by a Party does not operate as a waiver of that right, power or privilege.

35.2 Partial exercise of right power or privilege

A single or partial exercise of any right, power or privilege does not preclude any other or further exercise of that right, power or privilege or the exercise of any other right, power or privilege.

36. Statutory powers

The powers conferred on the Lessor by or under any statutes for the time being in force are, except to the extent that they are inconsistent with the terms and provisions expressed in this Lease, in addition to the powers conferred on the Lessor in this Lease.

37. Governing law

This Lease is governed by and is to be interpreted in accordance with the laws of Western Australia and, where applicable, the laws of the Commonwealth of Australia.

Schedule

Item 1 Land and Premises

Land

Reserve 11076, being more particularly Lot 254 on Deposited Plan 92298 being the whole of the land comprised within Crown Land Title Volume LR3105 Folio 151.

Premises

The whole of the Reserve, as generally indicated on the sketch annexed hereto as **Annexure 1**. The parties acknowledge and agree that the exact extent of the Premises will be determined upon adoption of the Management Plan by the Lessee and Lessor pursuant to **clause 16**. Upon adoption of the Management Plan, the parties acknowledge and agree that the Premises will be automatically be amended to reflect the Premises described in the Management Plan.

Item 2 Term

7 years commencing on 1 December 2014 and expiring on 30 November 2021.

Item 3 Further Terms

(a) First Further Term

7 years commencing on 1 December 2021 and expiring on 30 November 2028.

(b) Second Further Term

7 years commencing on 1 December 2028 and expiring on 30 November 2035.

Item 4 Commencement Date

1 December 2014.

Item 5 Rent

\$7,000 dollars (Seven thousand dollars) per annum exclusive of GST, payable in advance in equal monthly instalments commencing on the Commencement Date.

Item 6 Permitted purpose

Public camping ground.

Item 7 Public liability insurance

Ten million dollars (\$10,000,000.00).

Item 8 Rent Review Dates

CPI Variation Dates

Each anniversary of the Commencement Date except the dates which are a Market Review Date.

Market Review Date

Commencement of the First Further Term and Second Further Term.

Signing page

EXECUTED

4TH

day of

JUNE

2015.

Signed by **Richard McMillan Brown** the presence of



Signature of Richard McMillan Brown



Witness Sign

Name of Witness

Tahlia Heitman-Taylor

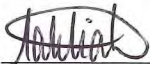
Address

5 Finnesty Street, Carnarvon WA 6701

Signed by **Francine Brown** the presence of



Signature of Francine Brown



Witness Sign

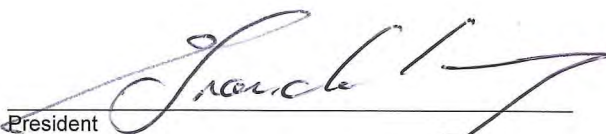
Name of Witness

Tahlia Heitman-Taylor

Address

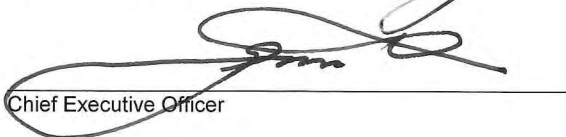
5 Finnesty Street, Carnarvon WA 6701

The Common Seal of the Shire of Carnarvon was hereunto affixed in the presence of:



President

KARL GRAEME BRANDENBURG
(Print full name)



Chief Executive Officer

GARY KEMP MARTIN.
(Print full name)

APPROVED FOR THE PURPOSES OF SECTION 18
OF THE LAND ADMINISTRATION ACT 1997



Minister for Lands Consent

by order of the Minister for Lands

This document is still subject to the registration requirements of the Transfer of Land Act 1893.

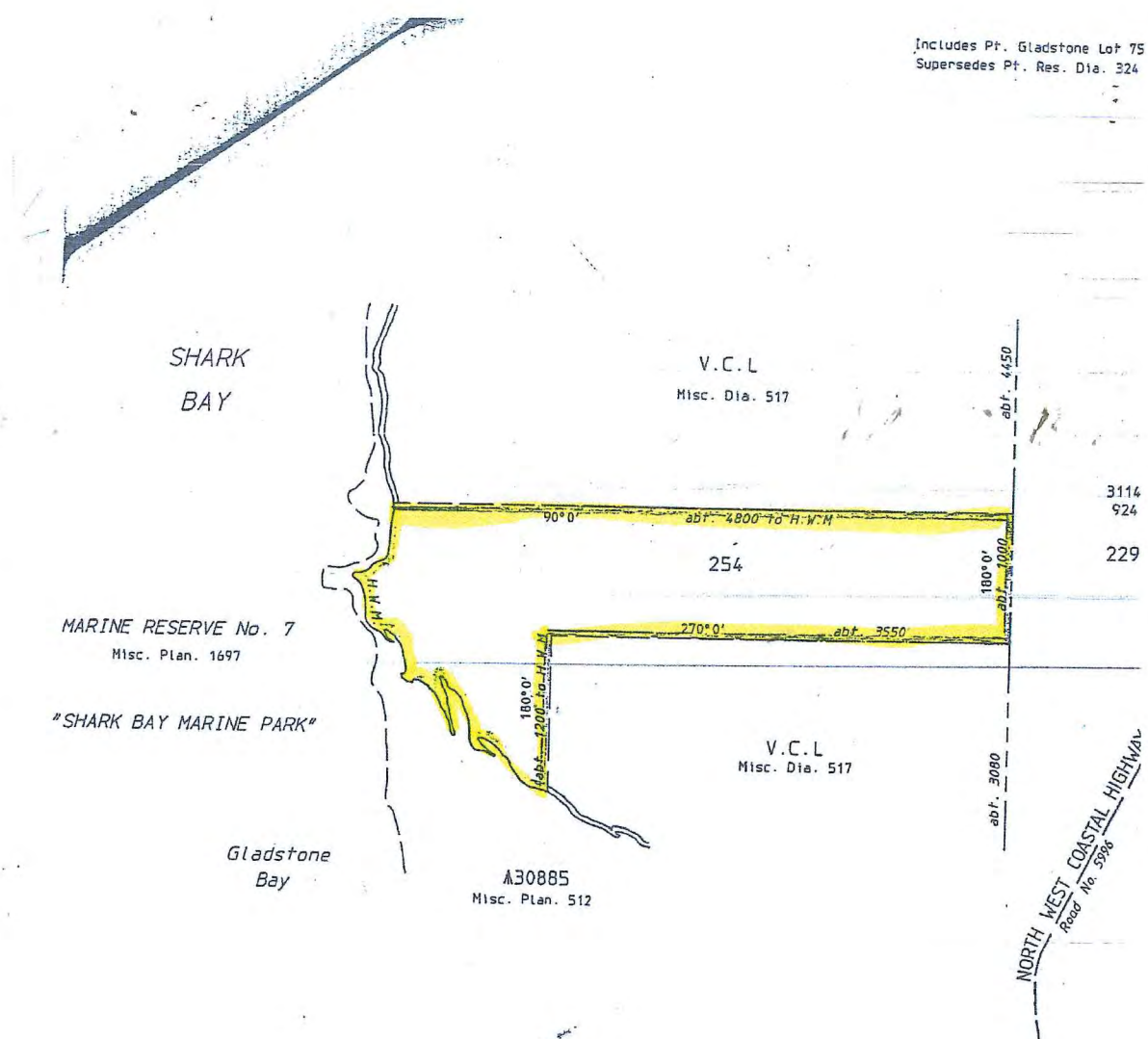
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© McLeods

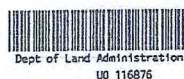
NAME: EMMA EATON

page 27

Annexure 1 – Sketch of Premises



Includes Pt. Gladstone Lot 75
Supersedes Pt. Res. Dia. 324



Water lines shown hereon do not necessarily depict an exact cadastral boundary.

RESERVE No. 11076	Area. abt 580 ha	FILE No. 203/891 V3
Purpose Recreation		SCALE 1:30000
DISTRICT. MURCHISON	SUBJECT TO SURVEY	All measurements in metres
Public Plan MOORAMEL 1:250000	AMENDMENTS	Gazetted Page
Reference . R.O.L.A. Cont. 203/891 V3	Gazette	Recorded on Public Plan
TOPOGRAPHIC SERVICES LIVE PLOT. MOORAMEL 501, PHOTOGRAPHER SEPT. '92	Page	Registered For Manager Statutory Services
Prepared by G. BALDINE	Gazetted	On S.I.P. MOORAMEL 1:250000
Date. 16.3.95	Initials	DEPT. OF LAND ADMINISTRATION
Checked [Signature]		RESERVE
Date. 17.3.95		DIAGRAM No. 1322
Approved [Signature]		
Date. 17.3.95		
Manager Statutory Services		

Annexure 2 – Management Plan

The Management Plan will be inserted into this Lease, once the Management Plan has been adopted by the Lessor and the Lessee in accordance with requirements of **clause 16**.

CFSS WA LTD

- *Community Counsellor*
- *Public Tenancy Advocate*
- *Finance Counsellor*
- *CSARS*
- *Emergency Relief*
- *Men's Anger Management Program*

Avivo

Legal Aid WA

Radio Mama

Midwest Aboriginal Media Association Inc

Aboriginal Family Legal Services

Kulyamba Aboriginal Corporation RNTBC

Horizon Power

SUPPORTED BY



Rio Tinto



LOTTERIES HOUSE INC.

ABN: 91354060586
1 Camel Lane
PO Box 1162, Carnarvon WA 6701
Phone: 08 9941 1177 Fax: 08 9941 1077
E-mail: lothousecarn@westnet.com.au

Shire Council,
Shire of Carnarvon,
3 Francis Street
PO Box 459,
Carnarvon WA 6701

Dear Shire Council,

Carnarvon Lotteries House Inc. Committee would like to express interest in purchasing Lot 603, 53 Olivia Terrace, for a peppercorn sum of money.

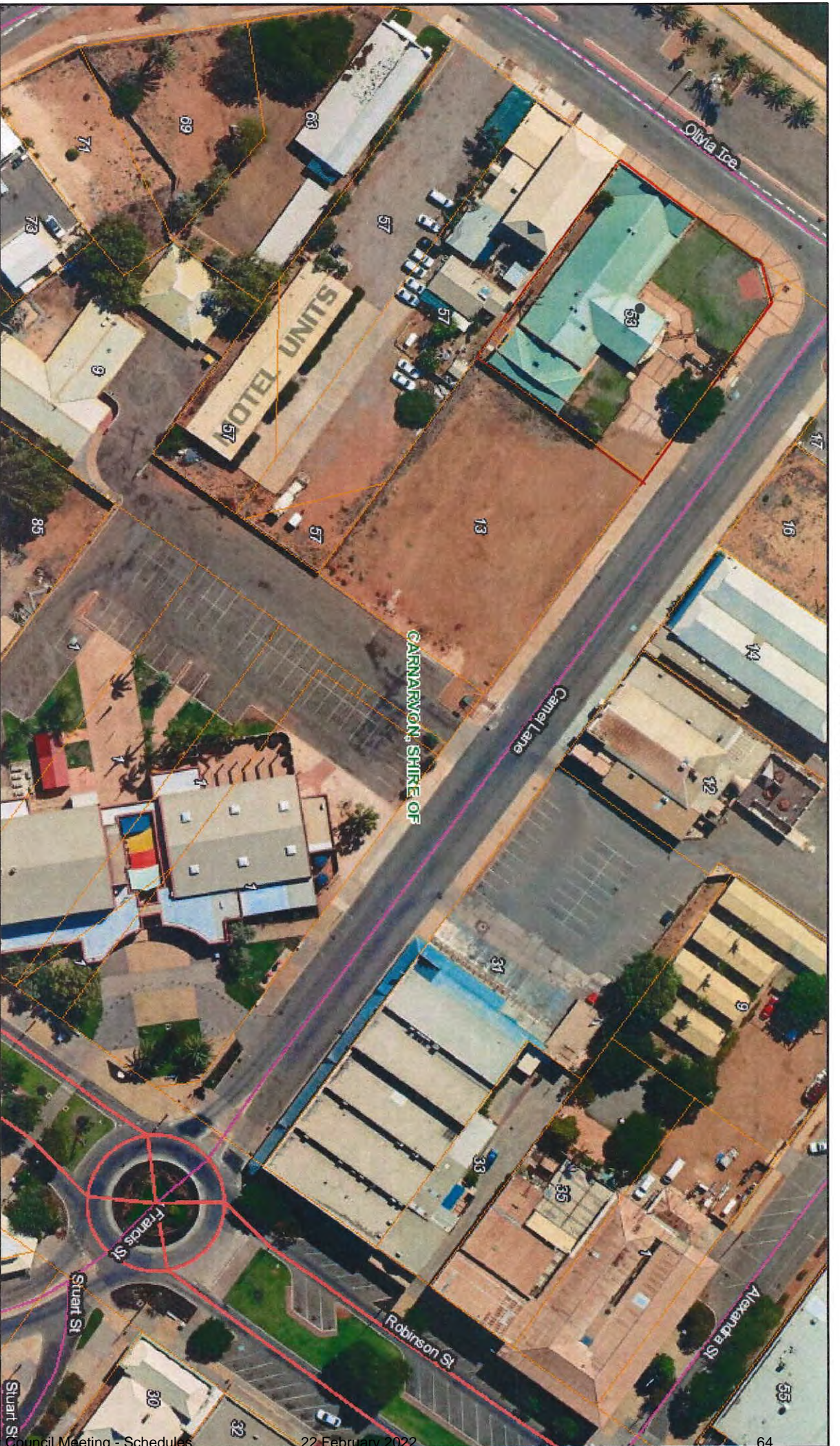
As Lotterywest own the building and the Committee are the Trustees of Carnarvon Lotteries House, owning both land and building would leave the Committee completely self-sufficient and would no longer need to enter into a lease agreement with the Shire of Carnarvon. We trust that as a Not-for-Profit organisation, our future Shire rates would reflect our status.

The Committee also proposes that should at any future period, Carnarvon Lotteries House cease to exist as an organisation, the land would then become the property of the Shire of Carnarvon.

Yours faithfully,

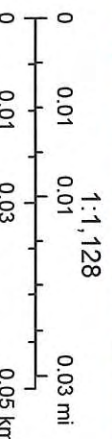
A handwritten signature in black ink that reads "Sarah Beresford".

Sarah Beresford
Administration Officer
7 January 2021



31/08/2021, 09:37:12

- Cadastre Address (LGATE-002) - Large Scale
- LGA
- Beach Emergency Numbers (BEN) Signage (DPPIRD-054)
- Others
- Laneway, Sealed
- Laneway, Unsealed
- Track, Unsealed
- Mall, Sealed
- Other



Source: Esri, Maxar, GeoEye, Earthstar Geographics, CNES/Airbus DS, USDA, USGS, AeroGRID, IGN, and the GIS User Community, Esri, HERE, Garmin, (c) OpenStreetMap contributors, and the GIS user community, LANDGATE/SLIP, SLIP/LANDGATE, SLIP/Landgate, Landgate / SLIP

Schedule 7.2.1 (a)

List of Accounts submitted to the ordinary Council Meeting to be held on 22nd February 2022 for information in respect to accounts already paid in January 2022. (Local Government Financial Management Regulations 1996)

SHIRE OF CARNARVON						
VOUCHER NUMBER	DATE PAID	PAYEE	DESCRIPTION	MUNI BANK	TRUST BANK	VISITOR CENTER
EFT34432	04/01/2022	SANDHURST SECURITY SERVICES PTY LTD	SHIRE ADMIN CENTRE PATROLS FOR THE PERIOD OF OCTOBER 2021 (STANDING ORDER)	\$6,015.71		
EFT34433	05/01/2022	DEFINITIV GROUP PTY LTD (STAFF PAY) PAYMENT	PAYROLL FOR THE WEEK ENDING 02/01/2022, PAYRUN 65	\$248,198.82		
EFT34434	07/01/2022	AUSTRALIAN SERVICES UNION	PAYROLL DEDUCTIONS / CONTRIBUTIONS	\$176.12		
EFT34435	07/01/2022	ADAM COTTRELL	MONTHLY COUNCILLOR SITTING FEE 23 NOV 2021	\$1,457.00		
EFT34436	07/01/2022	AECCA PTY LTD Trading as AE4A & Optraffic	VMS REPLACEMENT ELECTRICAL PARTS FOR REPAIRS UNDER INSURANCE CLAIM 4002312VFT MO0051761	\$599.70		
EFT34437	07/01/2022	ALICE JOY WARWICK	ITEMS FOR CHRISTMAS DECORATIONS	\$1,197.87		
EFT34438	07/01/2022	PETER ANDREW HARRIS	ASIC CARD TO OPERATE AS AN ARO	\$230.00		
EFT34439	07/01/2022	ANGELIKA CZAPP	50 UNITS @ \$5 A UNIT	\$250.00		
EFT34440	07/01/2022	A PLUS PLASTICS & TOOLING PTY LTD (HOLLOWAY GROUP)	SUPPLY 2,210M2 GEOHEX M, (2 PIECES/LAYER = 1SQM)	\$49,368.00		
EFT34441	07/01/2022	ASTROTOURISM WA PTY LTD	TOTAL SOLAR ECLIPSE 2023 INFORMATION SESSION AND WORKSHOP ON THURSDAY 18 NOVEMBER 2021	\$1,650.00		
EFT34442	07/01/2022	AUSTRALIAN BORE CONSULTANTS T/AS GLOBAL GROUNDWATER	DESKTOP ASSESSMENT OF WATER BORE LOCATIONS FOR THE FLOOD REPAIR WORKS (AGRN951)	\$7,480.00		
EFT34443	07/01/2022	OFFICE OF THE AUDITOR GENERAL	2020/2021 ANNUAL AUDIT FOR ROAD TO RECOVERY FUNDING AUDIT TO BE PERFORMED BY MOORE AUSTRALIA	\$4,730.00		
EFT34444	07/01/2022	AUSTRALIA POST	POSTAGE FOR THE PERIOD OF OCTOBER 2021	\$359.74		
EFT34445	07/01/2022	BENJAMIN BOON HIAN TEO (BEN TEO PHOTOGRAPHY)	PURCHASE OF CANVAS PRINTS FOR RETAIL AT THE VISITOR CENTRE	\$450.00		
EFT34446	07/01/2022	BENNALONG WA PTY LTD	TRANSPORT 26 PALLETS OF GEOHEX GRATIG FROM PERTH TO CARNARVON SHIRE DEPOT	\$6,317.58		
EFT34447	07/01/2022	CARNARVON MENSWEAR DO NOT USE	RANGERS UNIFORMS	\$2,059.65		
EFT34448	07/01/2022	J BLACKWOOD & SON PTY LTD	3 X POWERBOARDS BM01 POWERSAFE IP66 32A	\$18,594.12		
EFT34449	07/01/2022	BOC LIMITED (AUST)	1 X ARGOSHIELD UNIVERSAL G SIZE FOR WORKSHOP	\$318.17		
EFT34450	07/01/2022	BOLINDA PUBLISHING PTY LTD	STANDING ORDER FOR 2021/2022 MIXED ADULT VALUE PLAN (LIBRARY SELECT)	\$6,600.00		
EFT34451	07/01/2022	BORICH & SONS ATF BORICH FAMILY TRUST & R BORICH & Z BORICH	SENIORS WEEK MYSTERY TOUR 10/11/2021 PLANTATION TOUR: 40 SENIORS	\$480.00		
EFT34452	07/01/2022	BOOEASY TOURISM SOLUTIONS	NOV 2021 PURCHURE ORDER FOR 2% COMMISSION/ OR MONTHLY FEE PAYABLE TO BOOEASY.	\$284.04		
EFT34453	07/01/2022	BROONS GROUP PTY LTD	HYDRAULIC CYLINDERS BH1830099 LARGE 4 X 12"	\$4,755.30		
EFT34454	07/01/2022	CARNARVON PRECISION MACHINING	HYDRALIC HOSE AND FITTING FOR GRID ROLLER P288	\$457.76		
EFT34455	07/01/2022	CARNARVON CLEANERS PTY LTD	RFT 01/2016 PROVISION OF CIVIC CENTRE CLEANING VARIATION 0001 FOR NOV 2021	\$4,451.50		
EFT34456	07/01/2022	THE TRUSTEE FOR DN KEARNEY FAMILY TRUST T/A CARNARVON ELECTRICS	SUPPLY 5 PIN 32 AMP PLUG AND CABLE & TEST AND TAG ALL 3 POWER DISTRIBUTION BOXES FOR ROBINSON STREET	\$3,535.40		
EFT34457	07/01/2022	CHURCH OF CHRIST CARNARVON	SMALL ASSISTANCE DONATION	\$495.00		
EFT34458	07/01/2022	CITY OF GREATER GERALDTON	PROVISION OF BUILDING SERVICES NOVEMBER 2021	\$1,354.58		
EFT34459	07/01/2022	CORAL COAST PLUMBING	INVESTIGATE AND REPAIR LEAKING DRINKING FOUNTAIN AT TOWN BEACH UPDATE TO PO WITH QE013396	\$5,410.42		
EFT34460	07/01/2022	CORAL COAST VETERINARY HOSPITAL	PATIENT ID 13626 VETERINARY CARE OF CATS UNDER RANGERS SERVICES	\$3,870.02		
EFT34461	07/01/2022	CORAL COAST WATER PTY LTD	SITE 227 SPEEDWAY ROAD COMMERCIAL WATER SALES FOR THE PERIOD OF OCTOBER 2021	\$4.08		
EFT34462	07/01/2022	CONTROLLED IRRIGATION SUPPLIES	PRO HC OUTDOOR 12 STATION CONTROLLER	\$625.00		
EFT34463	07/01/2022	CONWAY Highbury PTY LTD	UNDERTAKING A REVIEW AND REPLACEMENT OF THE SHIRE OF CARNARVON LOCAL LAWS	\$990.00		
EFT34464	07/01/2022	FINE AUSTRALIA PTY LTD T/A CORPORATE EXPRESS STAPLES	CHRISTMAS CARDS AND PAINT FOR MAYUMIA YOUTH HUB	\$44.99		65

SHIRE OF CARNARVON

VOUCHER NUMBER	DATE PAID	PAYEE	DESCRIPTION	MUNI BANK	TRUST BANK	VISITOR CENTER
EFT34465	07/01/2022	CS LEGAL	LOCAL GOVERNMENT SALE ON A3508 1060 NORTH RIVER ROAD, NORTH PLANTATIONS WA 6701 FOR THE RECOVERY OF OUTSTANDING RATES AND SERVICE CHARGE MORE THAN 3 YEARS	\$8,385.94		
EFT34466	07/01/2022	RK & LJ SMITH CORPORATION PTY LTD T/A CARNARVON AUTO ELECTRICS	ESTIMATED LABOUR TO FIT SOLAR PANELS	\$1,739.43		
EFT34467	07/01/2022	CARNARVON GROWERS ASSOCIATION INC	YANKI UNIONS PVC 2, PVC FAUCET ELBOW , THREADED ELBOW MALE/FEMALE , SCREWED BUSH	\$529.25		
EFT34468	07/01/2022	CARNARVON MEDICAL CENTRE	FITNESS FOR WORK ASSESSMENT	\$194.90		
EFT34469	07/01/2022	CARNARVON MOTOR WRECKERS	TOWING OF ABANDONED AND IMPOUNDED VEHICLES	\$198.00		
EFT34470	07/01/2022	CARNARVON FRESH IGA	MINOR CLEANING COMSUMABLES AND TEA ROOM SUPPLY FOR DEPOT AND WASTE FACILITY	\$210.50		
EFT34471	07/01/2022	THE TRUSTEE FOR CHAPMAN TRUST T/A CARNARVON MITRE 10	COOLER JUG WITH TAP BLUE 5LT HP WILLOW	\$979.10		
EFT34472	07/01/2022	ATO CHILD SUPPORT AGENCY	PAYROLL DEDUCTIONS / CONTRIBUTIONS	\$691.78		
EFT34473	07/01/2022	DAVID GRAY & CO. PTY LIMITED	DARK GREEN MGB'S 240LT WITH SERIAL NUMBERS	\$2,401.32		
EFT34474	07/01/2022	DUN DIRECT PTY LTD	DIESEL FOR WORK VEHICLE 09/12/2021	\$14,513.39		
EFT34475	07/01/2022	GOODFORM HOLDINGS PTY LTD T/A EVERYWHERE TRAVEL	PERTH TO CARNAROVN RETURN FLIGHT 12th DECEMBER RETURNING 22ND DECEMBER (PEOPLE AND CULTURE OFFICER)	\$1,310.40		
EFT34476	07/01/2022	ALEXANDER FULLARTON	COUNCILLOR MONTHLY SITTING FEE 23 NOV 2021	\$1,457.00		
EFT34477	07/01/2022	GABRIELLE MILLS	STANDING PO FOR COPYWRITING & PRESS RELEASES FOR THE SHIRE OF CARNARVON	\$1,153.00		
EFT34478	07/01/2022	GASCOYNE FUNERAL DIRECTORS & MONUMENTALS	GARDEN MAINTENANCE AT BROWNS RANGE CEMETERY IN ACCORDANCE WITH RFT 02/2018	\$2,089.00		
EFT34479	07/01/2022	GASCOYNE OFFICE EQUIPMENT	REPLACEMENT OF VISITORS CENTRE COPY MACHINE RICOH IM C2000 A3 DIGITAL COLOUR MFD INC DELIVERY AND INSTALL	\$6,414.68		
EFT34480	07/01/2022	WR & BD BOVELL T/A GERALDTON MOWER AND REPAIR SPECIALISTS	2 x BELTS FOR CONCRETE ROAD SAW (STIHL PART 949000007915) DELIVERY TO CARNARVON VIA R & L COURIERS	\$268.60		
EFT34481	07/01/2022	ROADSTONE WEST PTY LTD T/AS GREENFIELD TECHNICAL SERVICES	SITE SUPERVISOR PACKAGE 1 (WORKING)	\$34,739.56		
EFT34482	07/01/2022	MOORE AUSTRALIA AUDIT (WA)	PROVISION OF EXTERNAL AUDIT OF THE DEPARTMENT OF TRANSPORT RADS 2019/21 FUNDING FOR THE CORAL BAY AIRSTRIP	\$1,100.00		
EFT34483	07/01/2022	HERITAGE RESORT SHARK BAY	TWO NIGHTS ACCOMMODATION SUNDAY 31ST OCTOBER 2021 AND 1ST NOVEMBER 2021 OCEAN FRONT KING ROOM WITH BREAKFAST CONFIRMATION #27AFB7019C	\$440.00		
EFT34484	07/01/2022	JACOB RUFFIN T/A HILLSIDE TRUCK & LOADER SERVICES	WET HIRE OF SEMI WATER TRUCK FOR WORKS ON THE QUOBBA GNARALOO ROAD	\$26,895.00		
EFT34485	07/01/2022	WA HOLIDAY GUIDE PTY LTD	PERIOD NOVEMBER 2021 (COMMISSION ON BOOKINGS REDIRECTED TO THE CARNARVON VISITORS CENTRE FROM WA HOLIDAY GUIDES WEBSITE.)	\$342.94		
EFT34486	07/01/2022	ICONIQ T/A AROCADE	ARO FOR THE PERIOD OF 13/12/2021 TO 19/12/2021	\$2,668.00		
EFT34487	07/01/2022	INDEPENDENT FUEL SOLUTIONS PTY LTD	DIESEL FOR WORK VEHICLES 02/12/2021	\$2,730.48		
EFT34488	07/01/2022	INTEGRATED ICT	STANDING ORDER FOR 1ST JULY TO 30TH JUNE 2022 CLOUD STORAGE	\$337.92		
EFT34489	07/01/2022	iSUBSCRIBE! PTY LTD	ANNUAL SUBSCRIPTION RENEWAL THREE TILES BETTER HOMES AND GARDENSM GARDENING AUSTRALIA, NATIONAL GEOGRAPHIC	\$217.99		
EFT34490	07/01/2022	THE TRUSTEE FOR I T VISION UNIT TRUST	THE UPLOAD OF MAPPING INTO SYNERGY	\$550.00		
EFT34491	07/01/2022	JOLLY'S AUTO CENTRE (JOLLY'S TYRE SERVICE)	5 X TOYO 265/65R17 120R OPAT2 TYRES FOR TOYOTA HILUX C77 P352	\$2,696.00		
EFT34492	07/01/2022	KLEENIT PTY LTD	RFT 06/2017 PROVISION OF PUBLIC SPACE & FOOTPATH CLEANING 1 JULY 2021 & 30TH JUNE 2022	\$7,557.26		
EFT34493	07/01/2022	MEETING SCHEDULES PTY LTD	2017-2022 R P304	\$927.36		66

SHIRE OF CARNARVON

VOUCHER NUMBER	DATE PAID	PAYEE	DESCRIPTION	MUNI BANK	TRUST BANK	VISITOR CENTER
EFT34494	07/01/2022	LOGO APPOINTMENTS	12 WEEKS FOR HR OFFICER ROLE COMMENCING 11 OCTOBER 2021	\$7,295.07		
EFT34495	07/01/2022	LUKE SKENDER	MONTHLY COUNCILLOR SITTING FEE 23 NOV 2021	\$1,457.00		
EFT34496	07/01/2022	MANOJ DANDUGUDUM	MEALS AND UBER FOR NOISE REGULATION TRAINING	\$448.50		
EFT34497	07/01/2022	MARCO PAULO FERREIRINHA	MONTHLY COUNCILLOR SITTING FEE 23 NOV 2021	\$1,457.00		
EFT34498	07/01/2022	MARKETFORCE PTY LTD	CLASSIFIED AD PUBLIC NOTICE LOCAL LAWS WEST AUSTRALIAN NEWSPAPER TBA NOVEMBER 2021	\$3,809.66		
EFT34499	07/01/2022	MARIJA VRANKOVICH	POOL INSPECTION TRAINING	\$631.86		
EFT34500	07/01/2022	BURKE MASLEN	MONTHLY COUNCILLOR SITTING FEE 23 NOV 2021	\$2,434.00		
EFT34501	07/01/2022	MCLEODS BARRISTERS AND SOLICITORS	PROVIDE LEGAL ADVICE FOR BUILDING ORDERS AND ASSIST WITH WRITING AGENDA ITEM FOR DECEMBER COUNCIL MEETING 2021 FOR BLOWHOLES SHACKS	\$1,098.71		
EFT34502	07/01/2022	MESSAGES ON HOLD AUSTRALIA PTY LTD	ANNUAL SUBSCRIPTION FOR SHIRE PHONE SYSTEMS PROFESSIONALLY PRODUCED AUDIO MUSIC & MESSAGES PERIOD: 28/11/2021 TO 27/02/2022	\$324.99		
EFT34503	07/01/2022	MIDWEST FIRE & SAFETY SUPPLIES	SERVICE ALARM SYSTEM, SPRINKLER SYSTEM AND EXTINGUISHERS AT THE CAMEL LANE THEATRE TO BRING UP TO STANDARD	\$1,144.88		
EFT34504	07/01/2022	THE TRUSTEE FOR KIMAL TRUST T/A MKB INDUSTRIES	SUPPLY OF 9M3 SKIP BIN WITH LID AT BLOWHOLES CAMPING AREA, INCLUDING A WEEKLY EMPTY	\$2,577.30		
EFT34505	07/01/2022	NATIONAL MUSEUM OF AUSTRALIA	TOURING EXHIBITION HIRE: PORTRAIT OF AUSTRALIA THOROUGH THE LENS OF AUSTRALIAN GEOGRAPHIC PARTICIPATION FEE FORM MEDIUM SIZE DISPLAY (UP TO 40 PRINTS)	\$4,400.00		
EFT34506	07/01/2022	NIGHTGLOW ENTERPRISES (BETTA HOME LIVING & LEADING EDGE COMPUTERS)	URN FOR MAYUMIA YOUTH HUB FOR EVENTS	\$129.00		
EFT34507	07/01/2022	NORWEST REFRIGERATION SERVICES	INSPECT AND REPAIR 3 AIRCONS IN ADMIN BUILDING 1 LEAKING UNIT 2 WILL NOT TURN ON	\$539.00		
EFT34508	07/01/2022	KIMMARC PTY LTD T/A PORTSIDE ENGINEERING AND CRANE SERVICES	MIRROR AND WASHER PUMP FOR P294	\$1,120.75		
EFT34509	07/01/2022	PROACTIV PAYROLL AUSTRALIA PTY LTD	STANDING PURCHASE ORDER FOR 1 JULY 2021 TO 30 JUNE 2022 12 MONTH PAYROLL OUTSOURCING AGREEMENT	\$8,816.50		
EFT34510	07/01/2022	QUEENSBERRY INFORMATION TECHNOLOGY	ANNUAL PAYMENT GATEWAY FEES 1/9/2020 TO 31/08/2021 ONLINE PAYMENT PLATFORM FOR THE VISITORS CENTRE WEBSITE	\$544.50		
EFT34511	07/01/2022	RENA ABREU	CHIRSTMAS SHIRTS AND PRODUCTS FOR YOUTH TEAM AND YOUTH HUB	\$203.99		
EFT34512	07/01/2022	RICHER888 PTY LTD	CATERING FOR 10 PEOPLE (INCLUDE VEGETARIAN OPTIONS) TUESDAY 14 DCEMBER 2021 COUNCIL MEETING 12 NOON COUNCIL CHAMBERS	\$245.00		
EFT34513	07/01/2022	ROAD RUNNER MECHANICAL SERVICES	RIGHT HAND SIDE REAR VISION MIRRIR	\$192.50		
EFT34514	07/01/2022	ROSMECH SALES & SERVICE PTY LTD	FILTERS FOR P347	\$661.06		
EFT34515	07/01/2022	SEATADVISOR AUSTRALIA	SEATADVISOR LICENCE FEE FOR 1/12/2019 TO 30/11/2020 AS PER CONTRACT WHICH EXPIRED IN OCTOBER 2021 SHORTFALL IN TICKET SALES FOR THIS PERIOD = 4395 UNSOLD TICKETS AT .60 CENTS EACH	\$2,663.10		
EFT34516	07/01/2022	SMITH, EDWARD	MONTHLY PRESIDENT'S ALLOWANCE 23 NOV 2021	\$5,365.00		
EFT34517	07/01/2022	CARNARVON SPACE & TECHNOLOGY MUSEUM INC	REIMBURSEMENT OF ELECTRICITY CHARGES OTC DISH FROM 1 MAY 4 OCT 2021	\$1,139.92		
EFT34518	07/01/2022	DEPARTMENT OF THE PREMIER AND CABINET (STATE LAW PUBLISHER)	SUBMISSION OF SHIRE OF CARNARVON REVISED LOCAL LAWS FOR GAZETAL	\$3,363.90		
EFT34519	07/01/2022	STRATAGREEN	ARCOA EZIREACHER LITTER PICKERS (820MM)	\$2,080.10		

SHIRE OF CARNARVON

VOUCHER NUMBER	DATE PAID	PAYEE	DESCRIPTION	MUNI BANK	TRUST BANK	VISITOR CENTER
EFT34520	07/01/2022	THE TRUSTEE FOR THE SWEETMAN NO 2 TRUST T/A SWEET AS CONCRETE	SUPPLY AND DELIVERY OF 22 CUM OF 25 MPA FIBRE MESH CONCRETE FOR 210SQM OF CONCRETE FOOTPATH ADJACENT TO NEW RESIDENTIAL CARE FACILITY JOHNSON ST CARNARVON. SHIRE TO SUPPLY CONCRETE FROM SWEET AS CONCRETE. CROTHERS CONSTRUCTION TO COORDINATE DELIVERY OF CONCRETE TO SITE WITH SWEET AS CONCRETE.	\$11,112.68		
EFT34521	07/01/2022	TECHNOLOGY ONE	INTRAMAPS MAINTENANCE: UPDATE TO LP13 USING DPLH AS REQUESTED BY DS OPERATIONS MANAGER	\$2,156.00		
EFT34522	07/01/2022	TOLL EXPRESS	FREIGHT FROM WINC TO CARNARVON 24 NOV 2021	\$212.66		
EFT34523	07/01/2022	THOMAS LANGLEY	MONTHLY COUNCILLOR SITTING FEE 23 NOV 2021	\$1,457.00		
EFT34524	07/01/2022	TOYWORLD CARNARVON	CHESS, MAGNET STRIPS, JENGA AND MAGENT DARTBOARD	\$76.94		
EFT34525	07/01/2022	NEW IMAGE HOLDINGS PTY LTD T/A TRAC BUILDING SERVICES	ADDITIONAL WORKS REQUIRED TO REMOVE KERBING, LEVEL, SUPPLY AND SET UP FORM WORK, PREP AND POUR OVER REDUNDANT TELSTRA PIT, POUR ADDITIONAL 4SQM OF PATH IN JOHNSTON STREET	\$1,683.00		
EFT34526	07/01/2022	TREMOR EARTHMOVING	WET HIRE OF SEMI WATER TRUCK FOR WORKS ON THE QUOBBA GNARALOO ROAD	\$9,528.75		
EFT34527	07/01/2022	TROPICS HARDWARE	4 x PACKS WARNING TACTILE MARKERS	\$3,669.51		
EFT34528	07/01/2022	AERODROME MANAGEMENT SERVICES PTY LTD	PROVISION OF RELIEF AERODROME REPORTING OFFICER FROM 18/11/2021 TO 03/12/2021	\$15,840.00		
EFT34529	07/01/2022	U2 BOBCAT HIRE	WET HIRE OF 2 TRUCKS AND SKID STEER FOR ROADWORKS ON TOMBSTONES ROAD COMMENCING ONDAY 29TH NOVEMBER 2021	\$17,050.00		
EFT34530	07/01/2022	LUKE VANDELEUR	DBCA FUNDED WORKS	\$1,457.00		
EFT34531	07/01/2022	VANGUARD PRESS	MONTHLY COUNCILLOR SITTING FEE 23 NOV 2021	\$702.90		
EFT34532	07/01/2022	VEE JAYS (WA) PTY LTD	ANNUAL DISTRIBUTION STORAGE AND BROCHURE RACKING FOR THE 2021 DISTINATION GUIDE BROCHURE DISPLAY (JULY TO SEPTEMBER 2021) TRANSPORT 6 MONTHS ONLY (JULY TO DECEMBER 2021) WAREHOUSING 6 MONTHS ONLY (JULY TO DECEMBER 2021)	\$19,800.00		
EFT34533	07/01/2022	WATER CORPORATION	EXTENSION OF CURRENT HIRE OF GRADER ON GNARALOO ROAD	\$432.24		
EFT34534	07/01/2022	WEST AUSTRALIAN NEWSPAPER LTD	WATER ACCOUNT FOR THE PERIOD 17/09/2021 TO 18/11/2021	\$209.85		
EFT34535	07/01/2022	WESTERLY CONTRACTORS	NOTICE OF PUBLIC ADVERTISEMENT OF THE SHIRE OF CARNARVON LOCAL PLANNING SCHEME 13 AMENDMENT 1 TO BE PUBLISHED IN THE MIDWET TIMES WEDNESDAY 24 NOVEMBER 2021	\$7,902.40		
EFT34536	07/01/2022	WURTH AUSTRALIA PTY LTD	SLASH AND WHIPPER SNIP VERGES ON SOUTH RIVER ROAD BEFORE FIRE SEASON	\$270.60		
EFT34537	07/01/2022	PACIFIC BRANDS WORKWEAR GROUP PTY LTD	SHACKLES, CUTTING DISCS AND CONSUMABLES	\$1,345.91		
EFT34538	07/01/2022	YOUNION YOGA	UNIFORM ORDER DECEMBER 2021	\$100.00		
EFT34539	14/01/2022	AMPOL AUSTRALIA PETROLEUM PTY LTD	SENIORS FITNESS TO MUSIC 1HOUR 12 NOVEMBER 2021	\$1,820.87		
EFT34540	14/01/2022	AUSTRALIA POST	DIESEL FOR WORK VEHICLE 24/12/2021	\$726.30		
EFT34541	14/01/2022	AVIONICS AIRFIELD LIGHTING PTY LTD	POSTAGE FOR THE PERIOD OF DECEMBER 2021	\$32,158.66		
EFT34542	14/01/2022	BENNALONG WA PTY LTD	APRON LIGHTING	\$233.20		
EFT34543	14/01/2022	BLACKBOX CONTROL PTY LTD	PICK UP & DELIVERY PALLET, BUNDLE POSTS, CARTON FROM WANGARA TO CARNARVON	\$726.00		
EFT34544	14/01/2022	CARNARVON MENSWEAR DO NOT USE	MONTH SUBSCRIPTION FEE FOR GPS TRACKING ON 22 FLEET VEHICLES FOR THE PERIOD FROM 28/12/21 TO 27/1/22	\$530.70		
EFT34545	14/01/2022	J BLACKWOOD & SON PTY LTD	RANGERS UNIFORM	\$2,189.90		
EFT34546	14/01/2022	BOC LIMITED (AUST)	PART NO: 00863251 BOLLE HUSTLER SAFETY GLASSES POLARIZED SMOKE	\$193.89		
EFT34547	14/01/2022	BOOEASY TOURISM SOLUTIONS	ACETYLENE E SIZE	\$220.00		68
	Ordinary Council Meeting - Schedules		22 CARNARVON MONTHLY FEE PAYABLE TO BOOEASY.			
			BOOKINGS MONTHLY FEE FOR DECEMBER 2021			

SHIRE OF CARNARVON

VOUCHER NUMBER	DATE PAID	PAYEE	DESCRIPTION	MUNI BANK	TRUST BANK	VISITOR CENTER
EFT34548	14/01/2022	CABCHARGE AUSTRALIA PTY LTD	CABCHARGE FOR THE PERIOD FROM 29/11/21 TO 26/12/21	\$50.30		
EFT34549	14/01/2022	CARNARVON CLEANERS PTY LTD	RFT 06/2018 SEPERABLE PORTION B CONTRACT EXTENSION 1 NOVEMBER 2021 TO 30 JUNE 2022 FOR DECEMBER 2021 DAILY CLEAN OF AIRPORT TERMINAL DAILY CLEAN OF AIRPOR TOILETS MONTHLY CLEANING	\$2,697.75		
EFT34550	14/01/2022	KEMPTON FAMILY TRUST T/A CARNARVON GLASS & WINDOW TINT	INSPECT AND REPAIR SMASHED WINDOW AT 9 BUTCHER STREET (CARNARVON TOY LIBRARY)	\$381.21		
EFT34551	14/01/2022	KEMPTON FAMILY TRUST T/A NOVUS GLASS CARNARVON	SUPPLY AND FIT RH FRONT DOOR GLASS AND REGLAZE WING MIRROR RH RESULT OF BREAK IN 31.1.21	\$442.22		
EFT34552	14/01/2022	CENTRAL REGIONAL TAFE GERALDTON	VOCATIONAL STUDENT OF THE YEAR AWARD 2021	\$275.00		
EFT34553	14/01/2022	CORAL COAST WATER PTY LTD	WATER ANNUAL SERVICE CHARGE NORTH COMMON	\$351.54		
EFT34554	14/01/2022	WINC AUSTRALIA PTY LTD T/A CORPORATE EXPRESS STAPLES	NET51291421 DECEMBER/JANURARY STATIONARY ORDER	\$702.53		
EFT34555	14/01/2022	CORAL COAST HELICOPTER SERVICES PTY LTD	HELICOPTER SERVICE FOR MOSQUITO SURVEILLANCE	\$2,178.00		
EFT34556	14/01/2022	CS LEGAL	LOCAL GOVERNMENT SALE ON A3508 1060 NORTH RIVER ROAD, NORTH PLANTATIONS WA 6701 FOR THE RECOVERY OF OUTSTANDING RATES AND SERVICE CHARGE MORE THAN 3 YEARS	\$594.00		
EFT34557	14/01/2022	CARNARVON MEDICAL CENTRE	LEVEL B STANDARD CONSULT FOR PRE HEP B (TWINRIX) VACCINATION	\$84.10		
EFT34558	14/01/2022	CARNARVON FRESH IGA	CATERING SUPPLIES FOR THE SHIRE OF CARNARVON YOUTH HUB ACTIVITIES	\$444.03		
EFT34559	14/01/2022	THE TRUSTEE FOR CHAPMAN TRUST T/A CARNARVON MITRE 10	2 X SHOVEL POST HOLE 6 X BATTERY MAKITA 5.0AH	\$2,561.22		
EFT34560	14/01/2022	DUN DIRECT PTY LTD	DIESEL FOR WORK VEHICLE 7/1/22	\$5,692.60		
EFT34561	14/01/2022	EMERG SOLUTIONS PTY LTD	SUBSCRIPTION TO BART BRIGADE RESOURCE MANAGEMENT SYSTEM FOR 18 MEMBERS GASCOYNE RIVER BUSH FIRE BRIGADE	\$270.00		
EFT34562	14/01/2022	GOODFORM HOLDINGS PTY LTD T/A EVERYWHERE TRAVEL	RETURN AIRFARE PERTH TO CARNARVON 17 JANUARY 2022 (AFTERNOON FLIGHT) CARNARVON TO PERTH 28 JANUARY 2022 (AFTERNOON FLIGHT) FOR CONSULTANT	\$671.48		
EFT34563	14/01/2022	JM AND VL FARNE T/A CORAL BAY CONTRACTING	RFT 08/2018 CORAL BAY CLEANING STANDING ORDER 1 JULY 2021 TO 31 JULY 2022 DAILY ABULTION CLEANING	\$5,020.78		
EFT34564	14/01/2022	GABRIELLE MILLS	STANDING PO FOR COPYWRITING & PRESS RELEASES FOR THE SHIRE OF CARNARVON (FOR BLOWHOLES SHACK FOLLOWING COUNCIL MEETING)	\$564.00		
EFT34565	14/01/2022	GASCOYNE FUNERAL DIRECTORS & MONUMENTALS	AMENITY CLEANING AT BROWNS RANGE CEMETERY IN ACCORDANCE WITH RFT 02/2018	\$2,386.00		
EFT34566	14/01/2022	GASCOYNE OFFICE EQUIPMENT	SERVICE MANAGEMENT AGREEMENT FOR THE PERIOD NOVEMBER 2021 FOR THE FOLLOWING COPY MACHINES: SHIRE ADMIN EXEC, VISITOR CENTRE ,LIBRARY, DEPOT, SHIRE RECEPTION	\$4,850.90		
EFT34567	14/01/2022	ROADSTONE WEST PTY LTD T/AS GREENFIELD TECHNICAL SERVICES	JOB NUMBER J0612 PERIOD 1/7/21 TO 30/11/21: PREPARE AND MANAGE THE PROCUREMENT PROCESS FOR ENGAGING PLANT HIRE CONTRACTORS AND WATER BORE DRILLING CONTRACTORS FOR THE SHIRE'S AGRN951 FLOOD DAMAGE REINSTATEMENT WORKS	\$38,653.99		
EFT34568	14/01/2022	WA HOLIDAY GUIDE PTY LTD	COMMISSION ON BOOKINGS REDIRECTED TO THE CARNARVON VISITORS CENTRE FROM WA HOLIDAY GUIDES WEBSITE. (BOOKINGS MARKETING FEE FOR DECEMBER 2021)	\$201.96		
EFT34569	14/01/2022	ANDREOLI HOLDINGS PTY LTD T/A AUTOPRO CARNARVON	STANDING ORDER FOR SMALL ITEMS FOR DEPOT, PLANT AND WORKSHOP. Item: KELPRO SEAL FOR P339	\$115.80		
EFT34570	14/01/2022	HORIZON POWER (BENTLEY OFFICE)	ELECTRICITY ACCOUNTS STREET LIGHTS NOVEMBER 2021	\$20,910.52		
EFT34571	14/01/2022	ICONIQ T/A AROCADE	RELIEF ARO FOR THE PERIOD 20 DEC 2021 26 DEC 2021	\$7,366.00		
EFT34572	14/01/2022	INCITE SECURITY PTY LTD	SHIRE HQ. LIBRARY PTP WIRELESS LINK TO REPLACE PHYSICALLY DAMAGED UNIT ON LIBRARY ROOF	\$1,498.20		

SHIRE OF CARNARVON

VOUCHER NUMBER	DATE PAID	PAYEE	DESCRIPTION	MUNI BANK	TRUST BANK	VISITOR CENTER
EFT34573	14/01/2022	INTERFIRE AGENCIES PTY LTD (THE TRUSTEE FOR THE LOVETT FAMILY TRUST)	SLIDE TORCH HOLDER, SAFETY RATED LED TORCH, WPI STRUCTURAL FIRE BOOT FOR FIRE PREVENTION	\$1,659.13		
EFT34574	14/01/2022	INDEPENDENT FUEL SOLUTIONS PTY LTD	DIESEL FOR WORK VEHICLE 23/12/21	\$1,457.55		
EFT34575	14/01/2022	INTEGRATED ICT	2 YEAR IT SUPPORT. PO FOR DECEMBER 2021 TO JUNE 2022	\$6,479.00		
EFT34576	14/01/2022	JARDINIER GARDEN CARE	GARDEN SERVICES ON THE CENTRE MEDIUM STRIP ALONG ROBINSON STREET FOR 18 WEEKS FROM SEPTEMBER 2021	\$11,440.00		
EFT34577	14/01/2022	JOLLY'S AUTO CENTRE (JOLLY'S TYRE SERVICE)	2X STEER TYRES FOR P294	\$2,645.00		
EFT34578	14/01/2022	KLEENIT PTY LTD	RFT 06/2017 PROVISION OF PUBLIC SPACE & FOOTPATH CLEANING 1 JULY 2021 & 30TH JUNE 2022 FORTNIGHT ENDING 26 DEC 2021	\$25,679.98		
EFT34579	14/01/2022	KYLIE MAREE OSBORN	RATES REFUND FOR ASSESSMENT A2794 4 CARSON PL BROCKMAN WA 6701	\$1,453.42		
EFT34580	14/01/2022	QUEENSLAND LANDMARK PRODUCTS PTY LTD	STANDARD FFSC013039 PACIFIC 240LT LITTER BIN RECEPTACLE WITH A WAVE BODY AND CONOPY LID INCLUDING DELIVERY	\$4,141.50		
EFT34581	14/01/2022	LOGO APPOINTMENTS	12 WEEKS FOR HR OFFICER ROLE COMMENCING 11 OCTOBER 2021 (WEEK ENDING 25 DECEMBER 2021)	\$6,723.71		
EFT34582	14/01/2022	MCLEODS BARRISTERS AND SOLICITORS	PROVISION OF DRAFT LEASE BY MCLEODS FOR LIONS CLUB 2021	\$670.70		
EFT34583	14/01/2022	THE TRUSTEE FOR KIMAL TRUST T/A MKB INDUSTRIES	SUPPLY OF 9M3 SKIP BIN WITH LID AT BLOWHOLES CAMPING AREA, INCLUDING A WEEKLY EMPTY	\$1,844.70		
EFT34584	14/01/2022	KIMMARC PTY LTD T/A PORTSIDE ENGINEERING AND CRANE SERVICES	WELD UP AND PLATE RAMPS ON FLAT TOP TRAILER	\$536.25		
EFT34585	14/01/2022	PROACTIV PAYROLL AUSTRALIA PTY LTD	PAYROLL OUTSOURCING 5/12/21	\$6,333.80		
EFT34586	14/01/2022	RAY WHITE CARNARVON	RATES REFUND FOR ASSESSMENT A1713 38 CAVENDISH RD NORTH PLANTATIONS WA 6701	\$703.23		
EFT34587	14/01/2022	RELIABLE ENERGY SOLUTIONS K&D HOLDINGS PTY LTD AS TRUSTEE FOR THE CRAMER & NEILL UNIT TRUST	CONSULT ONSITE VISIT TO ASSESS AIR CONDITIONING SYSTEM HUMIDITY CONTROL ISSUE	\$5,500.00		
EFT34588	14/01/2022	R & L COURIERS	FREIGHT FROM CARNARVON TO CORAL BAY	\$513.70		
EFT34589	14/01/2022	ROADSHOW PUBLIC PERFORMANCE LICENSING	1 X ANNUAL BLANKET LICENCE FOR NONTHEATRICAL SCREENING OF FILMS FOR AUDIENCE OF 30 OR LESS IN MEETING ROOMS OR DESIGNATED SPACES WITHIN THE LIBRARY	\$330.00		
EFT34590	14/01/2022	SANDHURST SECURITY SERVICES PTY LTD	SHIRE ADMINISTRATION CENTRE PATROLS FOR DECEMBER 2021	\$2,940.72		
EFT34591	14/01/2022	SEA CONTRACTING PTY LTD	ALARM MONITORING SHIRE DEPOT	\$1,396.34		
EFT34592	14/01/2022	RIP IT SECURITY SHREDDING AND RECYCLERS	SECURITY SHREDDING AND COLLECTION OF RECORD BINS DECEMBER 15TH	\$219.00		
EFT34593	14/01/2022	SOUTHERN CROSS AUSTEREO PTY LTD	RADIO ADVERTISING CHRISTMAS MARKETS 2021	\$624.80		
EFT34594	14/01/2022	DEPARTMENT OF THE PREMIER AND CABINET (STATE LAW PUBLISHER)	FEE FOR PUBLICATION OF GOVERNORS APPROVAL TO EXTEND OUTSIDE SHIRE OF CARNARVON DISTRICT SHIRE OF CARNARVON AND LOCAL LAW 2021 DEPARTMENT FILE NO C11#013	\$62.40		
EFT34595	14/01/2022	TENDERLINK (TRADING AS TENDERLINK.COM)	TENDER ADVERTISING AND MANAGEMENT FOR RFT 01/2022 MIDDALYA CROSSING FLOOD DAMAGE AND UPGRADE WORKS (II) OPENING WED 12 JAN 2022	\$184.80		
EFT34596	14/01/2022	TENSENS	(10) BOXES OF DISPOSABLE SURGICAL FACE MASK 4 LAYER	\$170.50		
EFT34597	14/01/2022	TOLL EXPRESS	FREIGHT FROM WINC PERTH TO CARNARVON	\$315.36		
EFT34598	14/01/2022	TROPICS HARDWARE	SUPPLY 727 DIAMOND MESH SCREEN 2060X550	\$1,601.13		
EFT34599	14/01/2022	VEE JAYS (WA) PTY LTD	UP TO APPROX 20 DAYS FOR MAINTENANCE GRADE AND GRADE TO IMPROVE RIDEABILITY AND SAFETY ON MINILYA LYNDON RD	\$33,660.00		
EFT34600	14/01/2022	WESTERN AUSTRALIAN ELECTORAL COMMISSION	2021 LOCAL GOVERNEMENT ELECTIONS OCTOBER 2021	\$23,491.16		
EFT34601	14/01/2022	WALLACE, DANE	MEALS, ACCOMODATION & FUEL FOR ENVIRONMENTAL HEALTH MIDWEST GROUP CONFERENCE	\$175.52		
EFT34602	14/01/2022	WOLFCOM AUSTRALIA PTY LTD	PPE FOR RANGERS WITH FREIGHT	\$1,437.00		
EFT34603	19/01/2022	DEFINITIVE GROUP PTY LTD (STAFF PAY) PAYMENT	PAYROLL FOR WEEK ENDING 16/01/2022	\$272,988.64		70
EFT34604	21/01/2022	INTEGRITY COACH LINES (AUST) PTY LTD	INTEGRITY OPERATOR RETURN 15/01/22			\$5,661.14

SHIRE OF CARNARVON

VOUCHER NUMBER	DATE PAID	PAYEE	DESCRIPTION	MUNI BANK	TRUST BANK	VISITOR CENTER
EFT34605	21/01/2022	SHIRE OF CARNARVON MUNICIPAL FUND	INTEGRITY OPERATOR RETURN COMMISSION FOR THE PERIOD ENDING 15/1/22			\$1,046.08
EFT34606	21/01/2022	BUILDING & CONSTRUCTION INDUSTRY TRAINING	BUILDING & CONSTRUCTION INDUSTRY TRAINING FUND LEVY FOR THE PERIOD OF NOVEMBER 2021		\$1,261.37	
EFT34607	21/01/2022	DEPARTMENT OF MINES, INDUSTRY REGULATION AND SAFETY	BUILDING SERVICES LEVY FOR THE PERIOD FROM 01/10/2021 TO 31/10/2021		\$432.17	
EFT34608	21/01/2022	SHIRE OF CARNARVON MUNICIPAL FUND	COMMISSION ON BUILDING SERVICES LEVY FOR THE PERIOD FROM 01/10/2021 TO 31/10/2021		\$68.00	
EFT34609	24/01/2022	THE TRUSTEE FOR DILLON NO 1 DISCRETIONARY TRUST & THE TRUSTEE FOR THE TEO DISCRETIONARY TRUST T/A PHARMACY 777 CARNARVON	4x BOXES (50 SACHET) AQUALYTE HYDRATION FOR INFRASTRUCTURE OUTDOOR STAFF.	\$292.00		
EFT34610	24/01/2022	BLACKBOX CONTROL PTY LTD	MONTHLY SUBSCRIPTION FEE FOR GPS TRACKING FOR THE PERIOD OF MARCH 2021	\$693.00		
EFT34611	24/01/2022	BOC LIMITED (AUST)	GAS CYLINDERS FOR WORKSHOP FOR THE PERIOD OF 28/11/21 TO 28/12/21	\$112.75		
EFT34612	24/01/2022	CARNARVON MOTOR GROUP PTY LTD	INVESTIGATE AND REPAIR DASH LIGHTS ON TOYOTA HILUX C28519 (P331) LICENCE PLATE RECALL NO CHARGE	\$178.92		
EFT34613	24/01/2022	CARNARVON CENTRAL APARTMENTS 2	ACCOMODATION FOR CONTRACT BUILDING SURVEYOR FOR THE PERIOD OF 10/01/22 TO 14/01/22	\$560.00		
EFT34614	24/01/2022	CARNARVON CLEANERS PTY LTD	RFT 01/2016 PROVISION OF CIVIC CENTRE CLEANING FOR THE MONTH OF DECEMBER 2021	\$1,753.75		
EFT34615	24/01/2022	KEMPTON FAMILY TRUST T/A CARNARVON GLASS & WINDOW TINT	SUPPLY AND INSTALL GLASS TO DAMAGED WINDOWS	\$1,616.29		
EFT34616	24/01/2022	KEMPTON FAMILY TRUST T/A NOVUS GLASS CARNARVON	SUPPLY AND FIT WINDSCREEN ON VEHICLE PTRU2	\$1,003.90		
EFT34617	24/01/2022	CARNARVON WINDFEST	COMMUNITY GROWTH FUND CARNARVON WINDFEST 2022	\$10,000.00		
EFT34618	24/01/2022	KEMPTON FAMILY TRUST T/A CARNARVON SIGN WORKS	SUPPLY 6X VINYL CUT STICKERS FOR TFB 1.2 AND 3 AND FIRE EXTINGUISHERS	\$70.00		
EFT34619	24/01/2022	THE TRUSTEE FOR DN KEARNEY FAMILY TRUST T/A CARNARVON ELECTRICS	LOCATE AND DIAGNOSE FAULT IN MEN'S SHED ELECTRICAL SUPPLY. (FAULT FOUND TO BE MAINS SUPPLY LIE FAILED TO EARTH CABLE FAILED) TRENCH AND INSTALL NEW MAINS SUPPLY LINE TO MEN'S SHED TEST AND COMMISSION NEW SUPPLY	\$1,202.30		
EFT34620	24/01/2022	THE CHILDREN'S BOOK COUNCIL OF AUSTRALIA	ANNUAL MEMBERSHIP RENEWAL FOR PERIOD JANUARY TO DECEMBER 2022	\$75.00		
EFT34621	24/01/2022	CITY OF GREATER GERALDTON	PROVISION OF BUILDING CERTIFICATION SERVICES AS PER MOU 99566691 FOR THE PERIOD OF DECEMBER 2021	\$704.09		
EFT34622	24/01/2022	CONTROLLED IRRIGATION SUPPLIES	HUNTER 50MM SOLENOID VALVES	\$1,715.00		
EFT34623	24/01/2022	WINC AUSTRALIA PTY LTD T/A CORPORATE EXPRESS STAPLES	NET51291421 DECEMBER/JANUARY STATIONARY ORDER (ITEM 87186996)	\$6.92		
EFT34624	24/01/2022	RK & LJ SMITH CORPORATION PTY LTD T/A CARNARVON AUTO ELECTRICS	AC DELCO BATTERY PCAR12	\$144.43		
EFT34625	24/01/2022	CARNARVON MEDICAL CENTRE	TWINRIX VACCINATION	\$257.75		
EFT34626	24/01/2022	CARNARVON MOTOR WRECKERS	TOWING OF ABANDONED AND IMPOUNDED VEHICLES FROM SHALLCROSS STREET TO RUBBISH TIP	\$396.00		
EFT34627	24/01/2022	CARNARVON FRESH IGA	CATERING SUPPLIES FOR THE SHIRE OF CARNARVON YOUTH HUB ACTIVITIES	\$175.64		
EFT34628	24/01/2022	DEPARTMENT OF TRANSPORT	COMMUNITY JETTY RENEWAL FEE, JETTY NUMBER 4544	\$42.95		
EFT34629	24/01/2022	DUN DIRECT PTY LTD	DIESEL FOR WORK PLANT 14/1/22	\$4,687.99		
EFT34630	24/01/2022	GOODFORM HOLDINGS PTY LTD T/A EVERYWHERE TRAVEL	BOOKING OF FLIGHTS FOR BAND MEMBERS TRAVELLING FROM PERTH TO CARNARVON 25 JANUARY 2021 AND RETURNING 27 JANUARY 2021 TO PLAY AT AUSTRALIA DAY EVENT HOSTED BY SHIRE OF CARNARVON	\$6,752.00		
EFT34631	24/01/2022	JM AND VL FARNE T/A CORAL BAY CONTRACTING	22 February 2022 1 NOVEMBER TO 31 DECEMBER 2021 MAINTENACNE TO LANDFILL SITE	\$15,284.52		71

SHIRE OF CARNARVON

VOUCHER NUMBER	DATE PAID	PAYEE	DESCRIPTION	MUNI BANK	TRUST BANK	VISITOR CENTER
EFT34632	24/01/2022	GASCOYNE SAFETY ASSETS PTY LTD	SUPPLY 3X AFFE 9L EXTINGUISHERS AND 3X DCP 9KG EXTINGUISHERS	\$1,951.01		
EFT34633	24/01/2022	GNARALOO HOMESTEAD	ACCOMODATION IN FISHING LODGE (1) 4 ADULTS (4 X ROOMS) FROM THURSDAY 7TH OCTOBER 2021 TO THURSDAY 2ND DECEMBER 2021 AS PER BOOKING NUMBER: 1402042	\$7,530.00		
EFT34634	24/01/2022	GERALDTON REGIONAL ABORIGINAL MEDICAL SERVICE (GRAMS)	1 x PRE-EMPLOYMENT MEDICAL FOR YOUTH STAFF	\$300.00		
EFT34635	24/01/2022	ROADSTONE WEST PTY LTD T/AS GREENFIELD TECHNICAL SERVICES	JOB J0743 PRINCIPAL CIVIL ENGINEER TRAVEL TO GASCOYNE JUNCTION, PARTICIPATE IN JOINT SITE INSPECTION, DRAFT SUMMARY MEMO TO SHIRE FOR REVIEW, TRAVEL FOR SITE INSPECTIONS	\$13,514.88		
EFT34636	24/01/2022	HORIZON POWER (BENTLEY OFFICE)	ELECTRICITY ACCOUNTS FOR THE PERIOD OF 01/12/21 TO 31/12/21	\$39,307.19		
EFT34637	24/01/2022	ICONIQ T/A AROCADE	RELIEF ARO FOR THE WEEK ENDING 16 JAN 2022	\$2,436.00		
EFT34638	24/01/2022	INDEPENDENT FUEL SOLUTIONS PTY LTD	DIESEL FOR WORK PLANT 14/01/22	\$596.20		
EFT34639	24/01/2022	JENNIFER LITTLE	PROVISION OF MANAGER SERVICES FOR THE CARNARVON AQUATIC CENTRE FOR THE PERIOD OF JANUARY 2022	\$18,230.17		
EFT34640	24/01/2022	JOLLY'S AUTO CENTRE (JOLLY'S TYRE SERVICE)	PUNCTURE REPAIR FOR P311	\$40.00		
EFT34641	24/01/2022	KLEENIT PTY LTD	CONDUCT A FULL HOUSE CLEAN AND MOP OF 21 RICHARDS STREET IN PREPARATION FOR NEW TENANTS	\$198.00		
EFT34642	24/01/2022	STATE LIBRARY OF WA	FREIGHT RECOUP INTERLIBRARY LOANS DELIVERY MID YEAR 2021	\$248.38		
EFT34643	24/01/2022	MARKETFORCE PTY LTD	SHIRE OF CARNARVON NOTICE OF ADOPTION OF LOCAL LAW TO COME INTO EFFECT ON 30 DECEMBER 2021 PUBLIC PLACES AND LOCAL GOVERNMENT PROPERTY LOCAL LAW	\$306.34		
EFT34644	24/01/2022	MCLEODS BARRISTERS AND SOLICITORS	PROVIDE LEGAL ADVICE FOR BUILDING ORDERS AND ASSIST WITH WRITING AGENDA ITEM FOR DECEMBER COUNCIL MEETING 2021 FOR BLOWHOLES SHACKS	\$7,944.13		
EFT34645	24/01/2022	MIDDALYA CATTLE CO	EXTENSION OF CURRENT DRY HIRE OF TRACTOR ON GNARALOO ROAD FOR A FURTHER 11 DAYS	\$14,586.00		
EFT34646	24/01/2022	THE TRUSTEE FOR KIMAL TRUST T/A MKB INDUSTRIES	SUPPLY OF 9M3 SKIP BIN WITH LID AT BLOWHOLES CAMPING AREA, INCLUDING A WEEKLY EMPTY DATED 12/1/2022	\$471.90		
EFT34647	24/01/2022	MOORE AUSTRALIA WA PTY LTD	2021 NUTS & BOLTS WORKSHOP ON 26 NOVEMBER 2021	\$990.00		
EFT34648	24/01/2022	PACIFIC BIOLOGICS PTY LTD	2X PROLINK PELLET CASES 2X BUCKETS OF 200 PROLINK BRIQUETS 2X TWILIGHT ULV 5L	\$9,155.42		
EFT34649	24/01/2022	KIMMARC PTY LTD T/A PORTSIDE ENGINEERING AND CRANE SERVICES	REPAIRS TO DAMAGED RAMPS ON FLAT TOP TRAILER 1TMO104 (PTL6)	\$770.00		
EFT34650	24/01/2022	QUANTUM SURVEYS	DELIVERY OF AERIAL & GPS SURVEY OF RUNWAY 04/22 CARNARVON AIRPORT	\$17,325.00		
EFT34651	24/01/2022	THE TRUSTEE FOR THE SWEETMAN NO 2 TRUST T/A SWEET AS CONCRETE	1CM TYPE ONE 20MPA CONCRETE INCLUDING PART LOAD CHARGE	\$339.90		
EFT34652	24/01/2022	TELSTRA AUSTRALIA	TELSTRA INTERNET FOR THE PERIOD OF 12/12/21 TO 12/01/21	\$2,984.54		
EFT34653	24/01/2022	TOLL EXPRESS	FREIGHT FROM WINC PERTH TO CARNARVON	\$232.52		
EFT34654	24/01/2022	WAYNE NEVILLE ANTIOCH	PERFORMANCE FEE AND MEAL ALLOWANCE BAND TO PERFORM FOR AUSTRALIA DAY 2022 EVENT HOSTED BY SHIRE OF CARNARVON	\$6,900.00		
EFT34655	24/01/2022	WEST AUSTRALIAN NEWSPAPER LTD	NOTICE OF PUBLIC ADVERTISEMENT OF THE SHIRE OF CARNARVON PROPERTY FENCE LOCAL PLANNING POLICY D004 TO BE PUBLISHED IN THE MEDWEST TIMES WEDNESDAY 22 DECEMBER 2021	\$353.10		
EFT34656	24/01/2022	WESTERLY CONTRACTORS	PRUNE TREES AT 9 HAMMOND ST, 4 HAMMOND ST AND PCYC TO MAINTAIN CLEARANCE FOR AIRSIDE	\$4,588.10		
EFT34657	24/01/2022	SHIRE OF CARNARVON	SPARE PARTS FOR EQUIPMENT	\$49.08		72

SHIRE OF CARNARVON

VOUCHER NUMBER	DATE PAID	PAYEE	DESCRIPTION	MUNI BANK	TRUST BANK	VISITOR CENTER
EFT34658	28/01/2022	ADAM COTTRELL	COUNCILLOR MEETING FEE FOR 14 DECEMBER 2021 & 25 JANUARY 2022	\$3,026.00		
EFT34659	28/01/2022	ALEXANDER FULLARTON	COUNCILLOR MEETING FEE FOR 14 DECEMBER 2021 & 25 JANUARY 2022	\$2,914.00		
EFT34660	28/01/2022	LUKE SKENDER	COUNCILLOR MEETING FEE FOR 14 DECEMBER 2021 & 25 JANUARY 2022	\$2,914.00		
EFT34661	28/01/2022	MARCO PAULO FERREIRINHA	COUNCILLOR MEETING FEE FOR 14 DECEMBER 2021 & 25 JANUARY 2022	\$2,914.00		
EFT34662	28/01/2022	BURKE MASLEN	COUNCILLOR MEETING FEE FOR 14 DECEMBER 2021 & 25 JANUARY 2022	\$4,868.00		
EFT34663	28/01/2022	SMITH, EDWARD	PRESIDENT ALLOWANCE 14 DEMEMBER 2021 & 25 JANURAY 2022	\$10,730.00		
EFT34664	28/01/2022	THOMAS LANGLEY	COUNCILLOR MEETING FEE FOR 14 DECEMBER 2021 & 25 JANUARY 2022	\$2,914.00		
EFT34665	28/01/2022	LUKE VANDELEUR	COUNCILLOR MEETING FEE FOR 14 DECEMBER 2021 & 25 JANUARY 2022	\$2,914.00		
47228	20/01/2022	KLEENHEAT GAS PTY LTD	YEARLY FACILITY GEES FOR 45KG VAC CYL	\$59.58		
47229	20/01/2022	PIVOTEL SATELLITE PTY LTD	SATELLITE PHONE COVERAGE FOR THE PERIOD OF 15/11/21 TO 14/12/2021	\$180.00		
47230	20/01/2022	CASH (MUNI)	MISC SUPPLY MILK, SMALL PURCHASES	\$299.55		
DD39226.1	05/01/2022	SHIRE OF CARNARVON VISITOR CENTRE	BOOEASY OPERATOR RETURN FOR THE PERIOD ENDING 05/01/22			\$7,775.23
DD39226.2	17/01/2022	SHIRE OF CARNARVON VISITOR CENTRE	BOOEASY OPERATOR RETURN FOR THE PERIOD ENDING 17/01/22			\$9,239.98
DD39226.3	05/01/2022	SHIRE OF CARNARVON MUNICIPAL FUND	BOOEASY OPERATOR RETURN COMMISSION FOR THE PERIOD ENDING 05/01/22			\$1,110.77
DD39226.4	17/01/2022	SHIRE OF CARNARVON MUNICIPAL FUND	BOOEASY OPERATOR RETURN COMMISSION FOR THE PERIOD ENDING 17/01/22			\$1,320.02
TOTAL				\$1,443,648.98	\$1,761.54	\$26,153.22
TOTAL MUNI EFT				\$1,443,109.85		
TOTAL MUNI CHEQUES				\$539.13		
TOTAL BANK DIRECTS				\$0.00		
TOTAL TRUST EFT				\$1,761.54		
TOTAL TRUST CHEQUES				\$0.00		
TOTAL VISITOR CENTER BANK DIRECT				\$19,446.00		
TOTAL VISITOR CENTER EFT				\$6,707.22		
TOTAL				\$1,471,563.74		

Shire of Carnarvon

MONTHLY FINANCIAL REPORT (Containing the Statement of Financial Activity) FOR THE PERIOD ENDED 31 DECEMBER 2021

**LOCAL GOVERNMENT ACT 1995
LOCAL GOVERNMENT (FINANCIAL MANAGEMENT) REGULATIONS 1996**

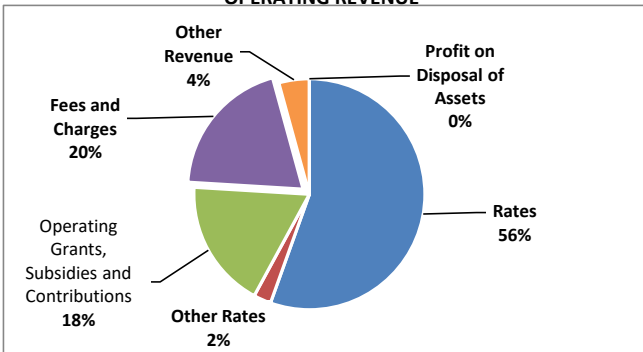
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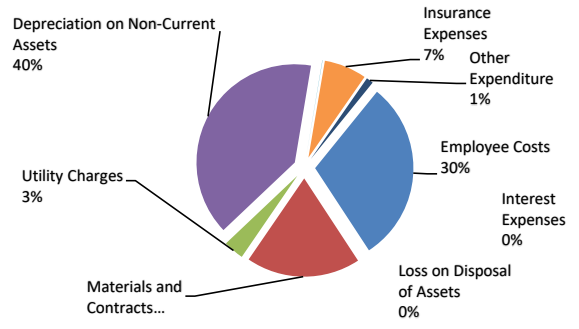
Note: The Statements and accompanying notes are prepared based on all transactions recorded at the time of preparation and may vary with the completion of Year end processes.

OPERATING ACTIVITIES

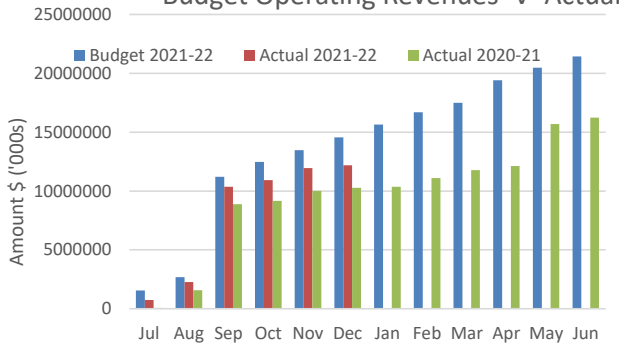
OPERATING REVENUE



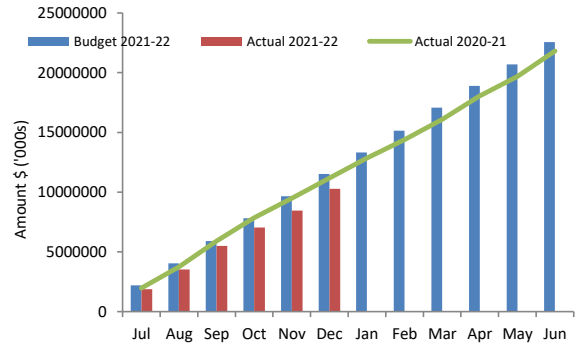
OPERATING EXPENSES



Budget Operating Revenues -v- Actual



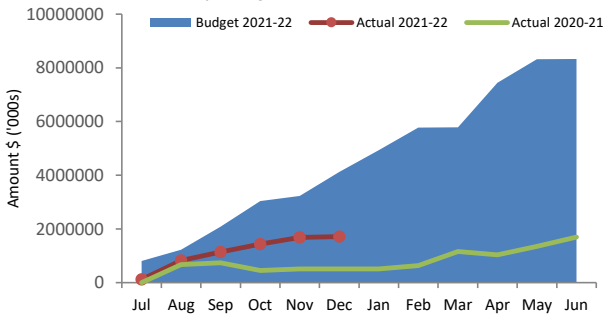
Budget Operating Expenses -v-YTD Actual



INVESTING ACTIVITIES

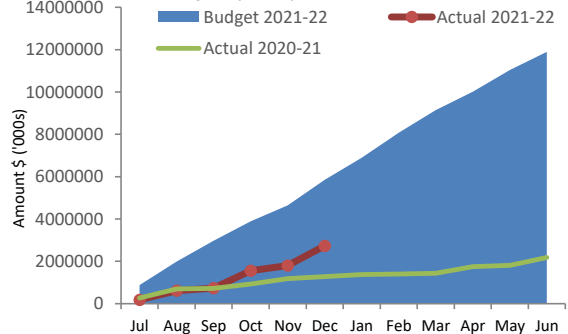
CAPITAL REVENUE

Non-Operating Grant Revenue -v- Actual



CAPITAL EXPENSES

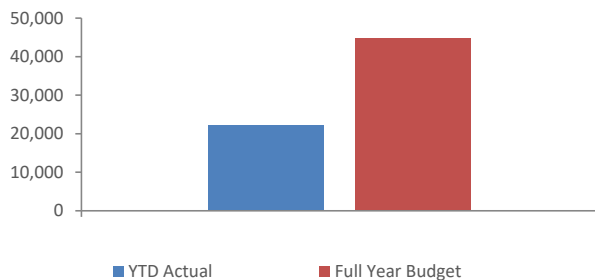
Budget Capital Expenses -v- Actual



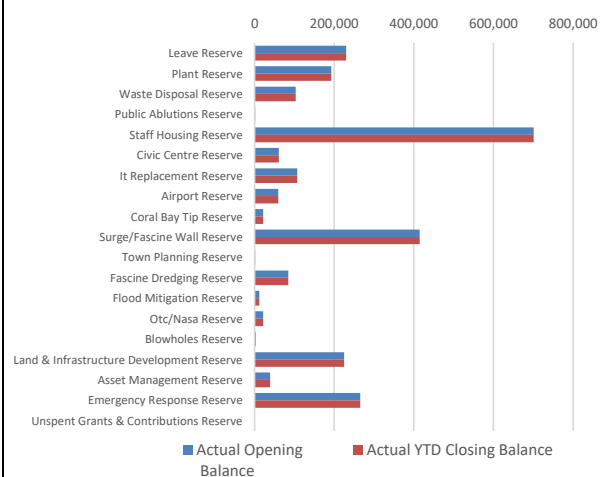
FINANCING ACTIVITIES

BORROWINGS

**Loan Repayments
Actual paid to date vs
Full year repayments due**



RESERVES



STATUTORY STATEMENT Local Government (Financial Management) Regulations 34

STATEMENT OF FINANCIAL ACTIVITY

BY PROGRAM

FOR THE PERIOD ENDED 31 DECEMBER 2021

		REG 34(1)(a)	REG 34(1)(b)	REG 34(1)(c)	0	REG 34(1)(d)	REG 34(1)(d)	
	Ref Note	Adopted Budget	YTD Budget (a)	YTD Actual (b)		Var. \$ (b)-(a)	Var. % (b)-(a)/(a)	Var.
		\$	\$	\$		\$	%	
Opening funding surplus / (deficit)	1	6,215,963	6,215,963	6,958,952		742,989	11.95%	▲
Revenue from operating activities								
Governance		65,884	47,934	115,209		67,275	140.35%	▲
General purpose funding - general rates	9	5,767,048	5,769,268	5,778,671		9,403	0.16%	
General purpose funding - other		2,571,827	1,293,590	1,317,319		23,729	1.83%	
Law, order and public safety		384,612	233,598	185,416		(48,182)	(20.63%)	▼
Health		45,600	21,798	25,066		3,268	14.99%	
Education and welfare		310,190	146,094	153,457		7,363	5.04%	
Community amenities		2,086,561	1,841,305	1,814,291		(27,014)	(1.47%)	
Recreation and culture		131,199	54,991	248,475		193,484	351.85%	▲
Transport		1,136,519	747,826	636,979		(110,847)	(14.82%)	▼
Economic services		341,775	163,383	188,406		25,023	15.32%	▲
Other property and services		242,788	121,386	13,380		(108,006)	(88.98%)	▼
		13,084,003	10,441,173	10,476,669		35,496		
Expenditure from operating activities								
Governance		(1,475,458)	(734,280)	(494,287)		239,993	32.68%	▲
General purpose funding		(270,954)	(102,478)	(99,259)		3,219	3.14%	
Law, order and public safety		(1,122,956)	(602,306)	(525,586)		76,720	12.74%	▲
Health		(781,701)	(388,604)	(282,051)		106,553	27.42%	▲
Education and welfare		(840,461)	(439,474)	(374,376)		65,098	14.81%	▲
Housing		(184,842)	(104,734)	0		104,734	100.00%	▲
Community amenities		(1,960,933)	(986,462)	(928,612)		57,850	5.86%	
Recreation and culture		(4,220,064)	(2,201,517)	(1,858,641)		342,876	15.57%	▲
Transport		(9,341,491)	(4,676,828)	(4,341,591)		335,237	7.17%	
Economic services		(1,352,130)	(679,948)	(503,352)		176,596	25.97%	▲
Other property and services		(999,874)	(600,532)	(871,544)		(271,012)	(45.13%)	▼
		(22,550,864)	(11,517,163)	(10,279,299)		1,237,864		
Non-cash amounts excluded from operating activities								
Add: Loss on disposal of assets	6	25,400	25,400	0		(25,400)	(100.00%)	▼
Add: Depreciation on assets		8,212,681	4,106,304	4,082,380		(23,924)	(0.58%)	
Less: Movement in Provisions		0	0	(3,033)		(3,033)	0.00%	
Less: Movement in Contract Liabilities		(2,245,151)	0	0		0	0.00%	
Amount attributable to operating activities		(3,473,931)	3,055,714	4,276,717		1,224,036		
Investing Activities								
Non-operating grants, subsidies and contributions	7	7,356,828	4,128,142	1,714,652		(2,413,490)	(58.46%)	▼
Net Non-Operating Grants		7,356,828	4,128,142	1,714,652		(2,413,490)	(58.46%)	
Proceeds from disposal of assets	6	30,000	0	0		0	0.00%	
Payments for property, plant and equipment and infrastructure	5	(11,316,306)	(5,425,146)	(2,788,000)		2,637,146	48.61%	▲
Amount attributable to investing activities		(3,929,478)	(1,297,004)	(1,073,348)		223,656		
Financing Activities								
Proceeds from new debentures	12	947,000	0	0		0	0.00%	
Transfer from reserves	4	784,105	0	0		0	0.00%	
Payments for principal portion of lease liabilities		(298,028)	(813)	(813)		0	0.00%	
Repayment of debentures	12	(44,831)	(22,246)	(22,246)		0	0.00%	
Transfer to reserves	4	(200,800)	0	0		0	0.00%	
Amount attributable to financing activities		1,187,446	(23,059)	(23,059)		0		
Closing funding surplus / (deficit)	1	0	7,951,614	10,139,262		2,187,648		

KEY INFORMATION

▲ ▼ Indicates a variance between Year to Date (YTD) Actual and YTD Actual data as per the adopted materiality threshold. Refer to Note 2 for an explanation of the reasons for the variance.

The material variance adopted by Council for the 2021-22 year for Operating is (+) plus or (-) minus \$10,000 and for Capital (+) plus or (-) minus \$20,000 or 10.00% whichever is the highest.

This statement is to be read in conjunction with the accompanying Financial Statements and notes.
Ordinary Council Meeting - Schedules 22 February 2022

STATUTORY STATEMENT Local Government (Financial Management) Regulations 34

STATEMENT OF FINANCIAL ACTIVITY

BY NATURE OR TYPE

FOR THE PERIOD ENDED 31 DECEMBER 2021

Ref	REG 34(1)(a)	REG 34(1)(b)	REG 34(1)(c)	REG 34(1)(d)	REG 34(1)(d)	Var.
	Adopted Budget	YTD Budget (a)	YTD Actual (b)	Var. \$ (b)-(a)	Var. % (b)-(a)/(a)	
Note						
Opening funding surplus / (deficit)	1	\$ 6,215,963	\$ 6,215,963	\$ 6,958,952	\$ 742,989	11.95% ▲
Revenue from operating activities						
Rates	9	5,767,048	5,769,268	5,778,671	9,403	0.16%
Specified area rates	9	258,261	258,261	255,673	(2,588)	(1.00%)
Operating grants, subsidies and contributions	8	3,535,225	1,992,738	1,879,150	(113,588)	(5.70%)
Fees and charges		3,180,701	2,256,235	2,059,943	(196,293)	(8.70%)
Interest earnings		83,500	41,748	59,114	17,366	41.60% ▲
Other revenue		259,268	122,923	444,119	321,196	261.30% ▲
		13,084,003	10,441,173	10,476,669	35,496	
Expenditure from operating activities						
Employee costs		(6,898,727)	(3,466,224)	(3,077,578)	388,647	11.21% ▲
Materials and contracts		(5,560,361)	(2,873,940)	(1,931,106)	942,834	32.81% ▲
Utility charges		(813,400)	(406,626)	(346,410)	60,216	14.81% ▲
Depreciation on non-current assets		(8,212,681)	(4,106,304)	(4,082,380)	23,924	0.58%
Interest expenses		(44,634)	(16,930)	(4,107)	12,823	75.74% ▲
Insurance expenses		(540,661)	(420,265)	(718,976)	(298,711)	(71.08%) ▼
Other expenditure		(455,000)	(201,474)	(118,743)	82,731	41.06% ▲
Loss on disposal of assets	6	(25,400)	(25,400)	0	25,400	100.00% ▲
		(22,550,864)	(11,517,163)	(10,279,300)	1,237,863	
Non-cash amounts excluded from operating activities						
Add: Loss on disposal of assets	6	25,400	25,400	0	(25,400)	(100.00%)
Add: Depreciation on assets		8,212,681	4,106,304	4,082,380	(23,924)	(0.58%)
Less: Movement in Provisions		0	0	(3,033)	(3,033)	0.00%
Less: Movement in Contract Liabilities		(2,245,151)	0	0	0	0.00%
		5,992,930	4,131,704	4,079,347	(52,357)	(100.58%)
Amount attributable to operating activities		(3,473,931)	3,055,714	4,276,716	1,249,435	
Investing activities						
Non-operating grants, subsidies and contributions	7	7,356,828	4,128,142	1,714,652	(2,413,490)	(58.46%) ▼
Net Non-Operating Grants		7,356,828	4,128,142	1,714,652	(2,413,490)	
Proceeds from disposal of assets	6	30,000	0	0	0	0.00%
Payments for property, plant and equipment and infrastructure	5	(11,316,306)	(5,425,146)	(2,788,000)	2,637,146	48.61% ▲
Net Non-Operating Expenditure		(11,286,306)	(5,425,146)	(2,788,000)	2,637,146	
Amount attributable to investing activities		(3,929,478)	(1,297,004)	(1,073,348)	223,656	
Financing Activities						
Proceeds from new debentures	12	947,000	0	0	0	0.00%
Transfer from reserves	4	784,105	0	0	0	0.00%
Payments for principal portion of lease liabilities		(298,028)	(813)	(813)	0	0.00%
Repayment of debentures	12	(44,831)	(22,246)	(22,246)	0	0.00%
Transfer to reserves	4	(200,800)	0	0	0	0.00%
Amount attributable to financing activities		1,187,446	(23,059)	(23,059)	(0)	
Closing funding surplus /(deficit) REG 34(1)(e)	1	0	7,951,614	10,139,261	2,187,647	

KEY INFORMATION

▲ ▼ Indicates a variance between Year to Date (YTD) Actual and YTD Actual data as per the adopted materiality threshold.

Refer to Note 2 for an explanation of the reasons for the variance.

The material variance adopted by Council for the 2020-21 year is \$10,000 or 10.00% whichever is greater.

This statement is to be read in conjunction with the accompanying Financial Statements and Notes.

Statutory document REG 34(2)(a)
**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
 FOR THE PERIOD ENDED 31 DECEMBER 2021**

Note 1

Explanation of the composition of net current assets

	Notes	Opening Position		Closing Position		
		Adopted Budget	Last Years Actual Closing	This time last month	YTD Actual (b)	
		Closing Surplus/Deficit Calculation 21/22	Closing Surplus 20/21, Unaudited Bfwd Actual 21/22	30/11/2021	31/12/2021	
		\$	\$	\$	\$	
Net current assets used in the Statement of Financial Activity						
Current assets						
* See note	Cash and cash equivalents	3	9,305	5,075,308	9,597,949	7,151,884
	Cash backed Reserves		2,883,477	2,683,109	2,683,109	2,683,109
	Rates receivables		0	834,186	2,807,910	2,438,540
	Receivables	10	317,531	843,325	(187,982)	185,172
	Inventories		13,090	63,090	86,800	91,336
	Other current assets					
	Total Current assets		3,223,403	9,499,018	14,987,785	12,550,041
Less: Current liabilities						
	Payables		(339,926)	143,043	(305,037)	272,330
	Contract liabilities		(21,827)	(2,334,858)	(2,334,858)	(2,334,858)
	Borrowings	12	(7,719)	(52,550)	(52,550)	(30,305)
	Lease liabilities	13	0	(348,948)	(348,135)	(348,135)
	Employee Provisions		(1,003,582)	(587,386)	(584,352)	(584,353)
	Total Current liabilities		(1,373,054)	(3,180,699)	(3,624,933)	(3,025,321)
	Net Currents Assets		1,850,349	6,318,319	11,362,852	9,524,720
Less: Adjustments to net current assets						
	Less: Reserves - restricted cash	4	(2,883,477)	(2,683,109)	(2,683,109)	(2,683,109)
	Add: Contract liabilities (Grants received but not spent)		0	2,334,858	2,334,858	2,334,858
	Add: Borrowings included in Budget	12	7,719	52,550	52,550	30,305
	Add: Lease liabilities included in Budget	13	21,827	348,948	348,135	348,135
	Add: Provisions - employee		1,003,582	587,386	584,352	584,353
	Total adjustments to net current assets		(1,850,349)	640,633	636,787	614,542
	Funding surplus/(deficit) (NET CURRENT ASSETS)		0	6,958,952	11,999,639	10,139,262

NOTE

* The Shires Cash & Cash equivalents as reflected in this note have not been reconciled to the actual bank account as disclosed at Note 3. Staff are urgently working on getting the bank reconciliations up to date.

CURRENT AND NON-CURRENT CLASSIFICATION

In the determination of whether an asset or liability is current or non-current, consideration is given to the time when each asset or liability is expected to be settled. Unless otherwise stated assets or liabilities are classified as current if expected to be settled within the next 12 months, being the Council's operational cycle.

Statutory document REG 34(2)(b)
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 DECEMBER 2021

Note 2

Explanation of material variances

The material variance thresholds are adopted annually by Council as an indicator of whether the actual expenditure or revenue varies from the year to date actual materially.

The material variance adopted by Council for the 2021-22 year for Operating is (+) plus or (-) minus \$10,000 and for Capital (+) plus or (-) minus \$20,000 or 10.00% whichever is the higher.

This is indicated by the up and down arrow symbols

Reporting Program	Var. \$	Var. %		Timing/ Permanent	Explanation of Variance
	\$	%			
Revenue from operating activities					
Governance	67,275	140.35%	▲	Timing	Grant income received earlier than expected
General purpose funding - rates	9,403	0.16%			Within variance threshold
General purpose funding - other	23,729	1.83%			Within variance threshold
Law, order and public safety	(48,182)	(20.63%)	▼	Timing	Grant income has not yet been received
Health	3,268	14.99%			Within variance threshold
Education and welfare	7,363	5.04%			Within variance threshold
Housing	0	0.00%			Within variance threshold
Community amenities	(27,014)	(1.47%)			Within variance threshold
Recreation and culture	193,484	351.85%	▲	Permanent	Unbudgeted Insurance Claim revenue as a result of Cyclone Seroja. Will be addressed with the budget review.
Transport	(110,847)	(14.82%)	▼	Timing	Grant income has not yet been received
Economic services	25,023	15.32%	▲	Permanent	Camping fees are greater than budgeted. Will be addressed with the budget review.
Other property and services	(108,006)	(88.98%)	▼	Timing	Private Works revenue is less than anticipated and Diesel Fuel rebate will be claimed in future months.
Expenditure from operating activities					
Governance	239,993	32.68%	▲	Timing	General Program expenses are under budget at this point in time
General purpose funding	3,219	3.14%			Within variance threshold
Law, order and public safety	76,720	12.74%	▲	Timing	General Program expenses are under budget at this point in time
Health	106,553	27.42%	▲	Timing	General Program expenses are under budget at this point in time
Education and welfare	65,098	14.81%	▲	Timing	General Program expenses are under budget at this point in time
Housing	104,734	100.00%	▲	Timing	General Program expenses are under budget at this point in time
Community amenities	57,850	5.86%			Within variance threshold
Recreation and culture	342,876	15.57%	▲	Timing	General Program expenses are under budget at this point in time
Transport	335,237	7.17%			Within variance threshold
Economic services	176,596	25.97%	▲	Timing	General Program expenses are under budget at this point in time
Other property and services	(271,012)	(45.13%)	▼	Timing	Insurance allocations to be allocated across programs and Leased vehicle depreciation to be processed.
Non-cash amounts excluded from operating activities					
Less: Profit on asset disposals	0	0.00%			Within variance threshold
Add: Loss on disposal of assets	(25,400)	(100.00%)		Timing	vehicles yet to be traded or sold
Add: Depreciation on assets	(23,924)	(0.58%)			Within variance threshold
Investing activities					
Proceeds from non-operating grants, subsidies and contributions	(2,413,490)	(58.46%)	▼	Timing	R2R, DFES, RADS and LRCI funding has not yet been received/brought to account. Refer to Note 7 for detail.
Proceeds from disposal of assets	0	0.00%			Within variance threshold
Payments for property, plant and equipment and infrastructure	2,637,146	48.61%	▲	Timing	Refer to Capital expenditure Note 5 for project details.
Financing activities					
Proceeds from new debentures	0	0.00%			Within variance threshold
Transfer from reserves	0	0.00%			Within variance threshold
Payments for principal portion of lease liabilities	0	0.00%			Within variance threshold
Repayment of debentures	0	0.00%			Within variance threshold
Transfer to reserves	0	0.00%			Within variance threshold
Opening funding surplus / (deficit)	742,989	11.95%	▲	Permanent	The Final audited result for 2021 is not complete, this amount is subject to change.

Shire of Carnarvon

SUPPORTING INFORMATION THE MONTHLY STATEMENTS PROVIDED FOR COUNCILLORS INFORMATION REG 34(2)(c) FOR THE PERIOD ENDED 31 DECEMBER 2021

The Local Government (Financial Management) Regulations provide at 34.(2) that:
(2) Each Statement of financial activity is to be accompanied by documents containing —
(c) such other supporting information as is considered relevant by the local government;
as such the following supporting information is provided.

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**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 DECEMBER 2021**

**Note 3
CASH AND FINANCIAL ASSETS**

Description	Classification	Unrestricted	Restricted	Total	Trust	Institution	Interest Rate	Maturity Date
		\$	\$	Cash \$				
Cash on hand								
Municipal Bank Account - 4334-09426	Cash and cash equivalents	6,022,660	(225,833)	5,796,827	0	ANZ Bank	0.00%	On Call
Municipal Online Account - 4510-69349	Cash and cash equivalents	1,369,264	0	1,369,264	0	ANZ Bank	0.05%	On Call
Municipal Bank Account - 3781-67777 - Visitor Centre	Cash and cash equivalents	129,084	0	129,084	0	ANZ Bank	0.00%	On Call
Trust Bank Account - 4334-09434	Cash and cash equivalents		0	0	232,857	ANZ Bank	0.00%	On Call
Reserve Bank Account-4334-75677	Cash and cash equivalents	0	271	271	0	ANZ Bank	0.00%	On Call
Reserve Online Account - 4516-72666	Cash and cash equivalents	0	2,908,942	2,908,942	0	ANZ Bank	0.05%	On Call
Investments								
Term Deposit - No.2 Blowholes	Cash and cash equivalents	33,703	0	33,703	0	WATC	0.05%	OCDF*
Total		7,554,711	2,683,380	10,238,091	232,857			
Comprising								
Cash and cash equivalents		7,554,711	2,683,380	10,238,091	232,857			
		7,554,711	2,683,380	10,238,091	232,857			

KEY INFORMATION

Cash and cash equivalents include cash on hand, cash at bank, deposits available on demand with banks and other short term highly liquid investments highly liquid investments with original maturities of three months or less that are readily convertible to known amounts of cash and which are subject to an insignificant risk of changes in value and bank overdrafts. Bank overdrafts are reported as short term borrowings in current liabilities in the statement of net current assets.

Restricted cash includes outstanding reserve transfers.

* OCDF - Overnight Cash Deposit Facility

NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 DECEMBER 2021

FINANCING ACTIVITIES
Note 4
CASH RESERVES

Reserves

Reserve name	Original Budget Opening Balance	Actual Opening Balance	Actual Interest Earned	Original Budget Transfers In (+)	Actual Transfers In (+)	Original Budget Transfers Out (-)	Actual Transfers Out (-)	Original Budget Closing Balance	Actual YTD Closing Balance
	\$	\$	\$	\$	\$	\$	\$	\$	\$
LEAVE RESERVE									
Leave Reserve	229,798	229,808	317	100,000	0	0	0	329,798	230,125
Plant Reserve	192,449	192,457	0	0	0	0	0	192,449	192,457
Waste Disposal Reserve	103,320	103,324	0	50,000	0	0	0	153,320	103,324
Public Ablutions Reserve	1,764	1,764	0	0	0	0	0	1,764	1,764
Staff Housing Reserve	700,510	700,540	0	0	0	0	0	700,510	700,540
Civic Centre Reserve	60,512	60,515	0	0	0	0	0	60,512	60,515
It Replacement Reserve	107,061	107,065	0	0	0	0	0	107,061	107,065
Airport Reserve	59,299	59,302	0	0	0	0	0	59,299	59,302
Coral Bay Tip Reserve	21,859	21,860	0	50,000	0	0	0	71,859	21,860
Surge/Fascine Wall Reserve	414,424	414,442	0	0	0	0	0	414,424	414,442
Town Planning Reserve	1,451	1,451	0	0	0	0	0	1,451	1,451
Fascine Dredging Reserve	84,690	84,693	0	0	0	0	0	84,690	84,693
Flood Mitigation Reserve	11,885	11,886	0	0	0	0	0	11,885	11,886
Otc/Nasa Reserve	21,367	21,368	0	0	0	0	0	21,367	21,368
Blowholes Reserve	2,750	2,750	0	0	0	0	0	2,750	2,750
Land & Infrastructure Development Reserve	224,854	224,864	0	0	0	0	0	224,854	224,864
Asset Management Reserve	38,894	38,896	0	0	0	0	0	38,894	38,896
Emergency Response Reserve	265,391	265,402	0	0	0	0	0	265,391	265,402
Mosquito Management Reserve	5,373	5,373	0	800	0	0	0	6,173	5,373
Country Roads Grading	135,026	135,032	0	0	0	0	0	135,026	135,032
Reserve Funds	2,682,677	2,682,792	317	200,800	0	0	0	2,883,477	2,683,109
Unspent Grants									
Unspent Grants & Contributions Reserve	784,105	0	0	0	0	(784,105)	0	0	0
Total Unspent Grants cash backed in reserve	784,105	0	0	0	0	(784,105)	0	0	0
TOTAL CASH BACKED RESERVES	3,466,782	2,682,792	317	200,800	0	(784,105)	0	2,883,477	2,683,109

KEY INFORMATION

Reserves transfers to and from the Muni bank are in progress

**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 DECEMBER 2021**

INVESTING ACTIVITIES

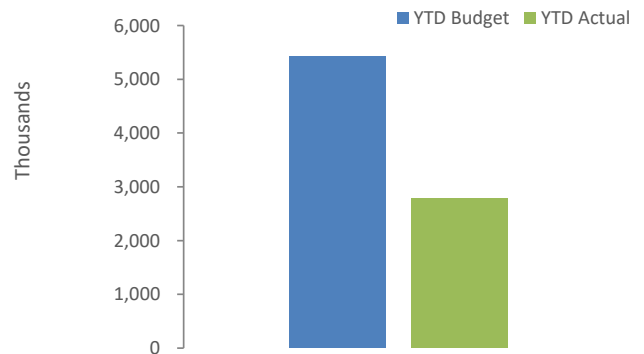
Note 5

CAPITAL ACQUISITIONS SUMMARY

Capital acquisitions	Adopted Budget	YTD Budget	YTD Actual	Variance
	\$	\$	\$	\$
Land & Buildings	436,416	223,191	163,271	(59,920)
Furniture & Equipment	111,000	55,506	0	(55,506)
Plant & Equipment	1,345,850	675,426	44,341	(631,085)
Roads	5,398,253	2,326,725	1,846,746	(479,979)
Footpaths	198,724	59,358	26,977	(32,381)
Drainage	40,000	39,999	3,687	(36,312)
Parks & Ovals	925,497	228,499	22,297	(206,202)
Airport	1,152,911	693,621	482,727	(210,894)
Other Infrastructure	1,312,655	920,320	142,051	(778,269)
Landfill	395,000	202,501	55,902	(146,599)
Payments for Capital Acquisitions	11,316,306	5,425,146	2,788,000	(2,637,146)
Right of use assets	0	0	0	0
Total Capital Acquisitions	11,316,306	5,425,146	2,788,000	(2,637,146)
Capital Acquisitions Funded By:				
	\$	\$	\$	\$
Capital grants and contributions	7,356,828	4,128,142	1,714,652	(2,413,490)
Other (disposals & C/Fwd)	30,000	0	0	0
Cash backed reserves				
Unspent Grants & Contributions Reserve	784,105	784,105	0	(784,105)
Contribution - operations	2,198,373	512,899	1,073,348	560,449
Capital funding total	11,316,306	5,425,146	2,788,000	(2,637,146)

SIGNIFICANT ACCOUNTING POLICIES

All assets are initially recognised at cost. Cost is determined as the fair value of the assets given as consideration plus costs incidental to the acquisition. For assets acquired at no cost or for nominal consideration, cost is determined as fair value at the date of acquisition. The cost of non-current assets constructed by the local government includes the cost of all materials used in the construction, direct labour on the project and an appropriate proportion of variable and fixed overhead. Certain asset classes may be revalued on a regular basis such that the carrying values are not materially different from fair value. Assets carried at fair value are to be revalued with sufficient regularity to ensure the carrying amount does not differ materially from that determined using fair value at reporting date.



5. CAPITAL ACQUISITIONS DETAILED

Account	Job	Account Description	Adopted		YTD Actual	Variance (Under)/Over			
			Original Budget	YTD Budget					
Land & Buildings									
0604		Land & Buildings	30,000	15,000	0	(15,000)			
	2314 0375	Rubbish Tip	0	0	235	235			
1224		Land & Buildings - Dfcs	141,000	141,000	140,956	(44)			
2974	0410	7 Airport Ctrc - Capital	15,000	7,500	10,918	2,518	0		
3064	LRC016	Public Toilets Baxter Park	100,000	0	0	0	100,000		
3680	1501	Depot Improvements	69,431	4,710	0	(4,710)			
3688		Depot Information Technology Links	6,000	0	0	0		6,000	
3764	LRC015	Barton Ovrl Abolitions Upgrade	20,000	0	0	0		(100,000)	
4154	0415	Main Airport Terminal	20,000	19,998	205	(19,793)			
4154	LRC008	Airport Amenity Improvements	34,985	34,983	11,956	(23,027)			
			436,416	223,191	163,271	(59,528)		6,000	
Furniture & Equipment									
0594		Furn & Equip (Admin)	20,000	10,002	0	(10,002)			
0598		Equipment (New And Renewal) For I.T.	56,000	28,002	0	(28,002)			
3554		Furn & Equip (Lib)	35,000	17,502	0	(17,502)			
			111,000	55,506	0	(55,506)		0	0
Plant & Equipment									
1234		Plant & Equip - Dfcs	0	0	24,064	24,064			
2514		Plant And Equipment - Refuse Site	265,000	132,498	0	(132,498)			
3274	1564	Other Plant And Equipment - Aquatic Centre	30,000	15,000	1,293	(13,707)			
3344		Plant And Equipment	30,000	30,000	0	(30,000)			
4114		Plant & Equip. - Airport	20,000	0	0	0			
4284		Plant & Equipment	995,850	497,928	18,985	(478,865)			
			1,345,850	675,426	44,341	(631,083)		0	0
Roads									
3740									
3740	R2R209	Harbour Road - Roads To Recovery	807,225	388,614	0	(388,614)			
3740	R2R241	Main Street - Roads To Recovery	807,225	0	780,827	780,827			
3747	RRG066	Blowholes Road	375,000	503,199	495,067	(8,133)		(128,199)	
3747	RRG121	Quobba Gnaraloo	950,000	249,996	497,680	247,684		450,000	
3747	RRG174	Minilya/Lyndon Road	550,343	275,166	0	(275,166)			
3747	RRG209	Harbour Road	1,192,775	757,290	18,053	(739,237)		(321,801)	
3760	C702	Grid Construction & Approches	266,017	123,126	50,304	(77,823)		19,761	
3760	C737	Water Bore Installation	125,000	0	0	0			
3760	LRC001	Dog Fence Project Support	14,668	14,667	0	(14,667)			
3760	LRC018	Culverts And Flood Wall Rock Minilya Lyndon & Wahroonga Pimb	310,000	14,667	4,815	(9,853)			
			5,398,253	2,326,725	1,846,746	(479,979)		(49,761)	49,761
Footpaths									
3848		Bicycle Network Coral By Design And Construct	30,000	0	0	0			
3850	9004	Temporary Budget Job No - Footpaths Asset Renewals (COA 3850)	112,724	59,356	0	(59,358)			
3850	F177	Footpath - Johnston Street	0	0	11,651	11,651			
3850	F178	Footpath - Olivia Terrace	0	0	5,325	5,325			
3858		Wa Bicycle Network Carnarvon Feasibility Study	50,000	0	10,000	10,000			
			198,724	59,358	26,977	(32,381)		0	0

5. CAPITAL ACQUISITIONS DETAILED

3770	D0002	Drainage			
		Storm Water Pumps	40,000	39,999	3,687
					(36,312)
			40,000	39,999	3,687
					(36,312)
		Parks & Ovals			
3294	1562	Upgrades To Swimming Pool Bowl	55,000	55,000	0
					(55,000)
3474	0615	Playground Equipment	50,000	0	0
					0
3690	1154	Blowholes Development Project (Capital Works)	173,500	173,499	22,297
					(151,203)
3690	R013	Skate Park Upgrade	80,000	0	0
					0
3690	R046	Youth Precinct Development	566,997	0	0
					0
			925,497	228,499	22,297
					(206,202)
		Airport			
4124	A011	Northern Apron, Taxiway B Upgrade & Lighting Rev D4/22	262,750	262,750	14,207
					(248,544)
4124	A012	Coral Bay Airstrip Upgrade	415,871	415,871	477,244
					11,373
4124	A015	Carnarvon Airport Airside Fencing, Boundary Fencing, Apron Light	474,290	15,000	41,277
					26,277
			1,152,911	693,621	482,727
					(210,894)
		Other Infrastructure			
3124	O495	Brown's Range Cemetery - Niche Wall (Columbarium)	15,000	0	0
					0
3124	LRC014	Pioneer Cemetery Remediation	59,000	59,000	11,648
					(47,352)
3604	3616	Faceline Wall (Own Sources Capital Works)	250,000	0	20,552
					20,552
3604	3620	Ives Infrastructure (Bbq)	224,431	219,708	172
					(219,536)
3604	3621	Faceline Wall (Grant Funded)	3,000	3,000	0
					(3,000)
3604	LRC005	Faceline Shelter & Bbq Project	49,500	49,500	0
					(49,500)
3604	LRC006	Tramway Bridge Upgrade Project	48,000	5,000	0
					(5,000)
3604	LRC007	Town Amenity Improvements	275,600	275,598	54,636
					(220,962)
3604	LRC017	Brockman Park Retic And Landscape	148,912	148,912	0
					(148,912)
3800	LRC012	Upgrade Power Supply Main Street	20,000	20,000	40,993
					20,993
3974	O404	Replacement Of Triple J Transmitter	15,000	15,000	0
					(15,000)
4214	LRC003	Coral Bay Visitor Signage Project	25,000	24,999	0
					(24,999)
4214	LRC009	Blowholes Camping Area Improvements	159,212	79,605	3,050
					(76,553)
4314	LCR004	Town Beach Kiosk Upgrade Project	20,000	19,998	11,000
					(8,998)
			1,312,655	920,320	142,051
					(778,269)
		Landfill			
2414	O385	New Refuse Site Development At Coral Bay	310,000	134,999	0
					(134,999)
2614	O403	Install New Customer Service Booth	50,000	17,002	7,420
					(20,083)
2614	LRC013	Solar Power Browns Range Tip	50,000	50,000	48,482
					(1,518)
			395,000	202,001	55,902
					(146,599)
		TOTALS	11,316,396	5,425,146	2,788,000
					(2,637,148)

check
 Variance 0 check

NT Statement

Difference

-11316305.68	-5425146	-2787999.87	0
0	0	0	

**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 DECEMBER 2021**

**INVESTING ACTIVITIES
Note 6
DISPOSAL OF ASSETS**

Asset Ref.	Asset description	Budget				YTD Actual			
		Net Book Value	Proceeds	Profit	(Loss)	Net Book Value	Proceeds	Profit	(Loss)
		\$	\$	\$	\$	\$	\$	\$	\$
	Community amenities								
	Rubbish Truck	46,500	23,000	0	(23,500)	0	0	0	0
	Recreation and culture								
	Utility Vehicle	8,900	7,000	0	(1,900)	0	0	0	0
		55,400	30,000	0	(25,400)	0	0	0	0

NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 DECEMBER 2021

INVESTING ACTIVITIES
Note 7
NON-OPERATING GRANTS AND CONTRIBUTIONS

Non operating grants, subsidies and contributions revenue

Type	Adopted Budget Revenue	YTD Budget	YTD Revenue Actual	Comment
	\$	\$	\$	
Non-operating grants and subsidies				
Governance				
Law, order, public safety				
Capital Grant - Dfes	151,500	141,000	164,920	
Health				
Community amenities				
LRCI Grant	50,000	50,000	0	
L.R.C.I GRANT	156,000	78,000	0	
Recreation and culture				
L.R.C.I. Grant	0	0	0	
Grants - Blowholes Dev.	190,529	190,528	0	
L.R.C.I. Grant	406,957	406,957	0	
Grants - Integrated Water Project	465,000	465,000	291,865	
Lrci Grant	168,912	168,912	0	
Bbrf & Dpird Grants (Skate Park & Youth Precinct)	646,997	0	30,000	
Transport				
Local Roads & Community Infrastructure Grant	34,668	34,667	0	
Regional Road Group	1,564,535	782,266	466,758	
Roads To Recovery	1,615,450	807,724	0	
R.A.D.S Grant	440,883	143,103	146,747	
R.A.U.P. Grant	401,200	200,000	199,362	
L.R.C.I. Infr. Grant	34,985	34,985	0	
Lrci Grant	310,000	310,000	0	
Wa Bicycle Network Coral Bay Design And Construct	15,000	15,000	5,000	
Wa Bicycle Network Carnarvon Feasibility Study	0	0	10,000	
Main Roads Funding	500,000	300,000	400,000	
Economic services				
Lrci Grant - Infr.	204,212	0	0	
	7,356,828	4,128,142	1,714,652	

NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 DECEMBER 2021

OPERATING GRANTS AND CONTRIBUTIONS

Provider	Type	Adopted Budget Revenue	YTD Budget	YTD Revenue Actual	Comment
		\$	\$	\$	
Operating grants and subsidies					
Governance					
Grant Income	Untied	30,000	30,000	30,000	
General purpose funding					
F.A.G.- General Purpose	Untied	1,744,263	872,132	872,132	
F.A.G. - Roads	Untied	694,264	347,132	347,132	
Law, order, public safety					
Bushfire Grant		17,120	8,560	9,899	
Emergency Svces Grant	Untied	35,410	35,409	4,431	
Grant-Emergency Risk Management (Aware)	Untied	25,082	25,082	0	
Grants And Contributions	Untied	129,697	0	0	
Dfes Grant Risk Officer	Untied	148,203	148,203	148,203	
Health					
Grants (Mosquito Funding)	Untied	8,000	3,996	4,617	
Education and welfare					
Grants- Service Agreement	Untied	244,190	122,094	127,992	
Recreation and culture					
Grants - Civic Centre		43,866	0	0	
Lib. And Gallery Grants		6,000	6,000	3,000	
Library Fundraising (Sale Of Books)		0	0	37	
Transport					
Mrwa Direct Grant	Untied	337,930	337,930	337,930	
Mrwa Streetlighting Contribution	Untied	21,200	21,200	0	
Mrwa Robinson Street Sweeping Contribution	Untied	10,000	10,000	10,000	
Mrwa Verge Mtnce Contribution	Untied	15,000	15,000	15,000	
Wa Bicycle Network Carnarvon Feasibility Study	Untied	25,000	0	0	
Agrn951- Tropical Low & Assoc Flooding 28 Jan - 8 Feb 2021	Untied	0	0	(57,222)	Correction required to costing
		3,535,225	1,982,738	1,869,150	

NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 DECEMBER 2021

OPERATING ACTIVITIES
Note 9
RATE REVENUE

General rate revenue	Budget						YTD Actual				
	Rate in \$ (cents)	Number of Properties	Rateable Value	Rate Revenue	Interim Rate	Back Rate	Total Revenue	Rate Revenue	Interim Rates	Back Rates	Total Revenue
RATE TYPE				\$	\$	\$	\$	\$	\$	\$	\$
Gross rental value											
Residential	11.1200	1,679	22,108,446	2,458,459	(5,000)	4,000	2,457,459	2,456,736	0	(82,337)	2,374,399
Commercial/Industrial	10.3000	322	15,551,561	1,601,811	0	0	1,601,810	1,604,489	0	0	1,604,489
Special Use/Rural	11.1200	102	1,757,732	195,460	0	0	195,459	195,460	0	0	195,460
Unimproved value											
Mining	24.512000	46	501,801	123,001	0	4,000	127,001	123,001	0	0	123,001
Pastoral	11.110000	40	3,143,392	349,231	0	(88,000)	261,230	349,231	0	0	349,231
Intensive Horticultural	2.273000	170	23,409,501	532,098	0	(8,000)	524,097	532,098	0	0	532,098
Sub-Total		2,359	66,472,433	5,260,060	(5,000)	(88,000)	5,167,056	5,261,014	0	(82,337)	5,178,678
Minimum payment	Minimum \$										
Gross rental value											
Residential	1,158.58	395	457,639	457,639	0	0	457,639	457,639	0	0	457,639
Commercial/Industrial	1,158.58	59	68,356	68,356	0	0	68,356	68,356	0	0	68,356
Special Use/Rural	1,158.58	47	54,453	54,453	0	0	54,453	54,453	0	0	54,453
Unimproved value											
Mining	400.00	17	6,800	6,800	0	0	6,800	6,800	0	0	6,800
Pastoral	1,158.58	9	10,427	10,427	0	0	10,427	10,427	0	0	10,427
Intensive Horticultural	1,158.58	2	2,317	2,317	0	0	2,317	2,317	0	0	2,317
Sub-total		529	599,993	599,993	0	0	599,992	599,993	0	0	599,992
Total general rates							5,767,048	5,861,007	0	(82,337)	5,778,670
Other Rates	Rate in \$ (cents)										
SAR - GRV Coral Bay	0.06833		3,644,983	249,061	0	0	249,061	249,058	0	0	249,058
Ex-gratia rates							9,200	0	0	0	6,615
Total specified area rates			3,644,983	249,061	0	0	258,261	249,058	0	0	255,673
Total Rates							6,025,309	6,110,065	0	(82,337)	6,034,344

KEY INFORMATION

Prepaid rates are, until the taxable event for the rates has occurred, refundable at the request of the ratepayer. Rates received in advance give rise to a financial liability. On 1 July 2020 the prepaid rates were recognised as a financial asset and a related amount was recognised as a financial liability and no income was recognised. When the taxable event occurs the financial liability is extinguished and income recognised for the prepaid rates that have not been refunded.

Rate Revenue by Rate Type

**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 DECEMBER 2021**

**Note 10
RECEIVABLES**

Rates receivable	30 Jun 2021	31 Dec 2021
	\$	\$
Opening arrears previous years		834,186
Levied this year		6,034,344
Less - collections to date		(4,429,990)
Equals current outstanding	834,186	2,438,540
Net rates collectable	834,186	2,438,540
% Collected		64.5%

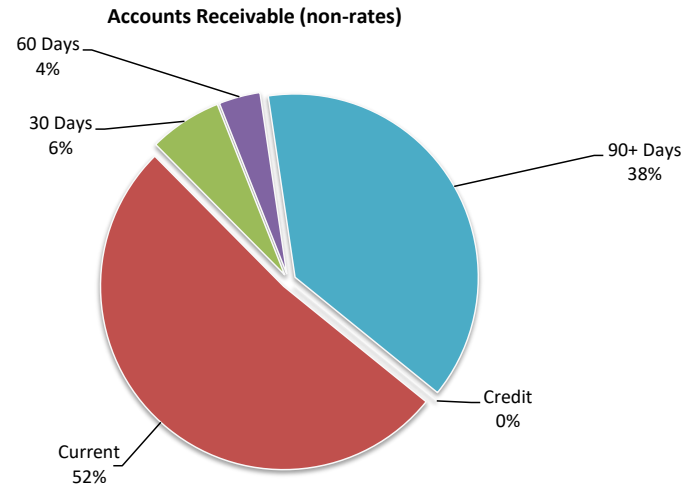
Receivables - general	Credit	Current	30 Days	60 Days	90+ Days	Total
	\$	\$	\$	\$	\$	\$
Receivables - general	0	28,815	3,584	2,032	21,260	55,691
Percentage	0.0%	51.7%	6.4%	3.6%	38.2%	
Balance per trial balance						
Sundry receivable	0	28,815	3,584	2,032	21,260	55,691
* Due (to)/from ATO - GST and PAYG Net	0	153,908	0	0	0	153,908
Provision for Doubtful Debts	0	0	0	0	(5,184)	(5,184)
FESA Control	0	0	0	0	0	(55,770)
Accrued Income	0	0	0	0	0	(338)
Total receivables general outstanding	0	182,723	3,584	2,032	16,076	148,307

Amounts shown above include GST (where applicable)

* - Transactions pending from payroll system - processed in December.

KEY INFORMATION

Trade and other receivables include amounts due from ratepayers for unpaid rates and service charges and other amounts due from third parties for goods sold and services performed in the ordinary course of business. Receivables expected to be collected within 12 months of the end of the reporting period are classified as current assets. All other receivables are classified as non-current assets. Collectability of trade and other receivables is reviewed on an ongoing basis. Debts that are known to be uncollectible are written off when identified. An allowance for impairment of receivables is raised when there is objective evidence that they will not be collectible.

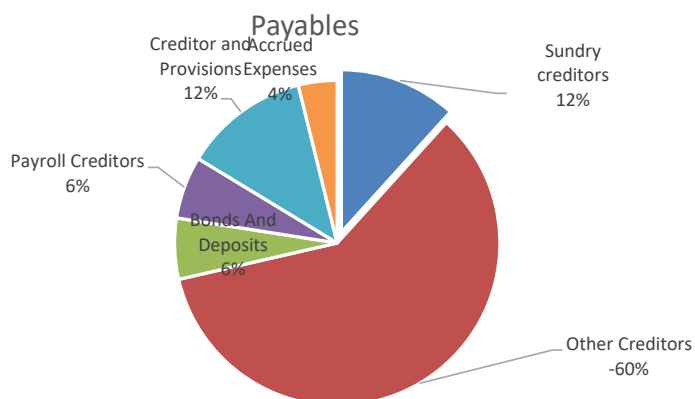


Payables - general	Credit	Current	30 Days	60 Days	90+ Days	Total
	\$	\$	\$	\$	\$	\$
Payables - general	0	84,410	4,686	16,961	58,359	164,416
Percentage	0%	51.3%	2.8%	10.3%	35.5%	
Balance per trial balance						
Sundry creditors	0	84,410	4,686	16,961	58,359	164,416
Other Creditors	(838,195)	0	0	0	0	(838,195)
Bonds And Deposits	0	85,073	0	0	0	85,073
Payroll Creditors	0	87,319	0	0	0	87,319
Creditor and Provisions	0	174,957	0	0	0	174,957
Accrued Expenses	0	54,100	0	0	0	54,100
Total payables general outstanding						(272,330)

Amounts shown above include GST (where applicable)

KEY INFORMATION

Trade and other payables represent liabilities for goods and services provided to the Shire that are unpaid and arise when the Shire becomes obliged to make future payments in respect of the purchase of these goods and services. The amounts are unsecured, are recognised as a current liability and are normally paid within 30 days of recognition.



**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 DECEMBER 2021**

**FINANCING ACTIVITIES
Note 12
BORROWINGS**

Repayments - borrowings

Information on borrowings	Loan No.	1 July 2021	New Loans		Principal Repayments		Principal Outstanding		Interest Repayments	
			YTD Actual	Full Year Budget	YTD Actual	Full Year Budget	YTD Actual	Full Year Budget	YTD Actual	Full Year Budget
Particulars		\$	\$	\$	\$	\$	\$	\$	\$	\$
Transport										
Airport Corrective works	216	264,239	0	0	22,246	44,831	241,993	219,408	4,107	7,720
Water Truck	TBC	0	0	256,720	0	0	0	256,720	0	11,103
Rubbish Truck	TBC	0	0	353,000	0	0	0	353,000	0	0
Utility Vehicles (5)	TBC	0	0	227,280	0	0	0	227,280	0	0
LWB Utility Truck	TBC	0	0	110,000	0	0	0	110,000	0	0
Total		264,239	0	947,000	22,246	44,831	241,993	1,166,408	4,107	18,823
Current borrowings		30,305					30,305			
Non-current borrowings		211,689					211,689			
		241,994					241,994			

Loan Repayments are 6 monthly and are financed by general purpose revenue.

New borrowings 2021-22

The Shire has approved borrowing in the 2021/22 Budget of \$947,000 which are yet to be financed

Unspent borrowings

The Shire had no unspent debenture funds as at 30th June 2021, nor is it expected to have unspent funds as at 30th June 2022.

**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 DECEMBER 2021**

**FINANCING ACTIVITIES
NOTE 13
LEASE LIABILITIES**

Movement in carrying amounts

Information on leases	Lease No.	New Leases			Principal Repayments		Principal Outstanding		Interest Repayments	
		1 July 2021	YTD Actual	Full Year Budget	YTD Actual	Full Year Budget	YTD Actual	Full Year Budget	YTD Actual	Full Year Budget
Particulars		\$	\$	\$	\$	\$	\$	\$	\$	
Other property and services										
Various Plant & Equipment		765,299	0		813	298,028	764,486	453,238	0	16,962
Total		765,299	0	0	813	298,028	764,486	453,238	0	16,962
Current lease liabilities		348,948					348,135			
Non-current lease liabilities		416,351					416,351			
		765,299					764,486			

All lease repayments were financed by general purpose revenue.

KEY INFORMATION

At inception of a contract, the Shire assesses if the contract contains or is a lease. A contract is, or contains, a lease if the contract conveys the right to control the use of an identified asset for a period of time in exchange for consideration. At the commencement date, a right of use asset is recognised at cost and lease liability at the present value of the lease payments that are not paid at that date. The lease payments are discounted using that date. The lease payments are discounted using the interest rate implicit in the lease, if that rate can be readily determined. If that rate cannot be readily determined, the Shire uses its incremental borrowing rate.

All contracts classified as short-term leases (i.e. a lease with a remaining term of 12 months or less) and leases of low value assets are recognised as an operating expense on a straight-line basis over the term of the lease.

Amendments to original budget since budget adoption. Surplus/(Deficit)

Account No.	Job No.	Description	Council Resolution	Classification	Original Budget	Current Budget	Increase in Available Cash	Decrease in Available Cash	Amended Budget Running Balance
							\$	\$	\$
*There are no budget amendments at this point in time									

MONTHLY FINANCIAL REPORT FOR THE PERIOD ENDED 31 DECEMBER 2021

BASIS OF PREPARATION

REPORT PURPOSE

This report is prepared to meet the requirements of *Local Government (Financial Management) Regulations 1996*, Regulation 34. Note: The statements and accompanying notes are prepared based on all transactions recorded at the time of preparation and may vary due to transactions being processed for the reporting period after the date of preparation.

BASIS OF ACCOUNTING

This statement comprises a special purpose financial report which has been prepared in accordance with Australian Accounting Standards (as they apply to local governments and not-for-profit entities) and Interpretations of the Australian Accounting Standards Board, and the *Local Government Act 1995* and accompanying regulations.

The *Local Government (Financial Management) Regulations 1996* take precedence over Australian Accounting Standards. Regulation 16 prohibits a local government from recognising as assets Crown land that is a public thoroughfare, such as land under roads, and land not owned by but under the control or management of the local government.

Consequently, some assets, including land under roads acquired on or after 1 July 2008, have not been recognised in this financial report. This is not in accordance with the requirements of *AASB 1051 Land Under Roads paragraph 15* and *AASB 116 Property, Plant and Equipment paragraph 7*.

Accounting policies which have been adopted in the preparation of this financial report have been consistently applied unless stated otherwise. Except for cash flow and rate setting information, the report has been prepared on the accrual basis and is based on historical costs, modified, where applicable, by the measurement at fair value of selected non-current assets, financial assets and liabilities.

PREPARATION TIMING AND REVIEW

Date prepared: All processed transactions up to 31 December 2021

SIGNIFICANT ACCOUNTING POLICES

CRITICAL ACCOUNTING ESTIMATES

The preparation of a financial report in conformity with Australian Accounting Standards requires management to make judgements, estimates and assumptions that effect the application of policies and reported amounts of assets and liabilities, income and expenses. The estimates and associated assumptions are based on historical experience and various other factors that are believed to be reasonable under the circumstances; the results of which form the basis of making the judgements about carrying values of assets and liabilities that are not readily apparent from other sources. Actual results may differ from these estimates.

THE LOCAL GOVERNMENT REPORTING ENTITY

All funds through which the Shire controls resources to carry on its functions have been included in the financial statements forming part of this financial report.

In the process of reporting on the local government as a single unit, all transactions and balances between those funds (for example, loans and transfers between funds) have been eliminated.

All monies held in the Trust Fund are excluded from the financial statements. A separate statement of those monies

GOODS AND SERVICES TAX

Revenues, expenses and assets are recognised net of the amount of GST, except where the amount of GST incurred is not recoverable from the Australian Taxation Office (ATO). Receivables and payables are stated inclusive of GST receivable or payable. The net amount of GST recoverable from, or payable to, the ATO is included with receivables or payables in the statement of financial position. Cash flows are presented on a gross basis. The GST components of cash flows arising from investing or financing activities which are recoverable from, or payable to, the ATO are presented as operating cash flows.

ROUNDING OFF FIGURES

All figures shown in this statement are rounded to the nearest dollar.

**KEY TERMS AND DESCRIPTIONS
FOR THE PERIOD ENDED 31 DECEMBER 2021**

STATUTORY REPORTING PROGRAMS

Shire operations as disclosed in these financial statements encompass the following service orientated activities/programs.

PROGRAM NAME AND OBJECTIVES

ACTIVITIES

GOVERNANCE

To provide a decision making process for the efficient allocation of scarce resources.

Includes the activities of members of Council and the administrative support available to the Council for the provision of governance to the district. Other costs relate to the task of assisting elected members and ratepayers on matters which do not concern specific council services.

GENERAL PURPOSE FUNDING

To collect revenue to allow for the provision of services.

Rates, general purpose government grants and interest revenue.

LAW, ORDER, PUBLIC SAFETY

To provide services to help ensure a safer and environmentally conscious community.

Supervision and enforcement of various local laws relating to fire prevention, animal control and other aspects of public safety including emergency services.

HEALTH

To provide an operational framework for environmental and community health.

Inspection of food outlets and their control, provision of meat inspection services, noise control and waste disposal compliance. Administration of the ROEROC health scheme and provision of various medical facilities.

EDUCATION AND WELFARE

To provide services to disadvantaged persons, the elderly, children and youth.

Maintenance and support of child minding and playgroup centres, senior citizen and aged care facilities.

HOUSING

To provide housing to staff.

Provision and maintenance of staff, community and joint venture housing.

COMMUNITY AMENITIES

To provide services required by the community.

Rubbish collection services, operation of rubbish disposal sites, litter control, construction and maintenance of urban storm water drains, protection of the environment and administration of town planning schemes, cemetery, public conveniences and community bus.

RECREATION AND CULTURE

To establish and effectively manage infrastructure and resources which help the social well being of the community.

Maintenance of public halls, aquatic centres, recreation centres and various sporting facilities. Provision and maintenance of parks, gardens, reserves and playgrounds. Provision of library services (contract). Support of museum and other cultural facilities and services.

TRANSPORT

To provide safe, effective and efficient transport services to the community.

Construction and maintenance of roads, streets, footpaths, cycling ways, airstrip, parking facilities and traffic control. Cleaning of streets and maintenance of street trees, street lighting etc.

ECONOMIC SERVICES

To help promote the Shire and its economic wellbeing.

Tourism and area promotion including the maintenance and operation of a caravan park. Provision of rural services including weed control, vermin control and standpipes. Building control.

OTHER PROPERTY AND SERVICES

To monitor and control Council's overhead operating accounts.

Private works operation, plant repair and operation costs, administration and engineering operation costs.

KEY TERMS AND DESCRIPTIONS

FOR THE PERIOD ENDED 31 DECEMBER 2021

NATURE OR TYPE DESCRIPTIONS

REVENUE

RATES

All rates levied under the *Local Government Act 1995*. Includes general, differential, specified area rates, minimum rates, interim rates, back rates, ex-gratia rates, less discounts and concessions offered. Exclude administration fees, interest on instalments, interest on arrears, service charges and sewerage rates.

OPERATING GRANTS, SUBSIDIES AND CONTRIBUTIONS

Refers to all amounts received as grants, subsidies and contributions that are not non-operating grants.

NON-OPERATING GRANTS, SUBSIDIES AND CONTRIBUTIONS

Amounts received specifically for the acquisition, construction of new or the upgrading of identifiable non financial assets paid to a local government, irrespective of whether these amounts are received as capital grants, subsidies, contributions or donations.

REVENUE FROM CONTRACTS WITH CUSTOMERS

Revenue from contracts with customers is recognised when the local government satisfies its performance obligations under the contract.

FEES AND CHARGES

Revenues (other than service charges) from the use of facilities and charges made for local government services, sewerage rates, rentals, hire charges, fee for service, photocopying charges, licences, sale of goods or information, fines, penalties and administration fees. Local governments may wish to disclose more detail such as rubbish collection fees, rental of property, fines and penalties, other fees and charges.

SERVICE CHARGES

Service charges imposed under *Division 6 of Part 6 of the Local Government Act 1995*. *Regulation 54 of the Local Government (Financial Management) Regulations 1996* identifies these as television and radio broadcasting, underground electricity and neighbourhood surveillance services. Exclude rubbish removal charges. Interest and other items of a similar nature received from bank and investment accounts, interest on rate instalments, interest on rate arrears and interest on debtors.

INTEREST EARNINGS

Interest and other items of a similar nature received from bank and investment accounts, interest on rate instalments, interest on rate arrears and interest on debtors.

OTHER REVENUE / INCOME

Other revenue, which can not be classified under the above headings, includes dividends, discounts, rebates etc.

PROFIT ON ASSET DISPOSAL

Excess of assets received over the net book value for assets on their disposal.

EXPENSES

EMPLOYEE COSTS

All costs associate with the employment of person such as salaries, wages, allowances, benefits such as vehicle and housing, superannuation, employment expenses, removal expenses, relocation expenses, worker's compensation insurance, training costs, conferences, safety expenses, medical examinations, fringe benefit tax, etc.

MATERIALS AND CONTRACTS

All expenditures on materials, supplies and contracts not classified under other headings. These include supply of goods and materials, legal expenses, consultancy, maintenance agreements, communication expenses, advertising expenses, membership, periodicals, publications, hire expenses, rental, leases, postage and freight etc. Local governments may wish to disclose more detail such as contract services, consultancy, information technology, rental or lease expenditures.

UTILITIES (GAS, ELECTRICITY, WATER, ETC.)

Expenditures made to the respective agencies for the provision of power, gas or water. Exclude expenditures incurred for the reinstatement of roadwork on behalf of these agencies.

INSURANCE

All insurance other than worker's compensation and health benefit insurance included as a cost of employment.

LOSS ON ASSET DISPOSAL

Shortfall between the value of assets received over the net book value for assets on their disposal.

DEPRECIATION ON NON-CURRENT ASSETS

Depreciation expense raised on all classes of assets.

INTEREST EXPENSES

Interest and other costs of finance paid, including costs of finance for loan debentures, overdraft accommodation and refinancing expenses.

OTHER EXPENDITURE

Statutory fees, taxes, allowance for impairment of assets, member's fees or State taxes. Donations and subsidies made to community groups.

Shire of Carnarvon

MONTHLY FINANCIAL REPORT (Containing the Statement of Financial Activity) FOR THE PERIOD ENDED 31 JANUARY 2022

**LOCAL GOVERNMENT ACT 1995
LOCAL GOVERNMENT (FINANCIAL MANAGEMENT) REGULATIONS 1996**

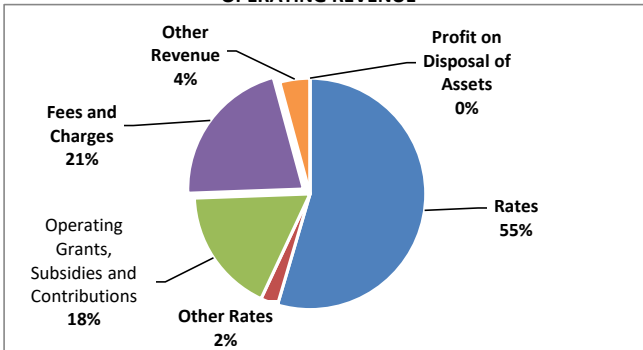
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Statement of Financial Activity by Program	3
Statement of Financial Activity by Nature or Type	4
Note 1 Explanation of Composition of Net Current Assets	5
Note 2 Explanation of Material Variances	6
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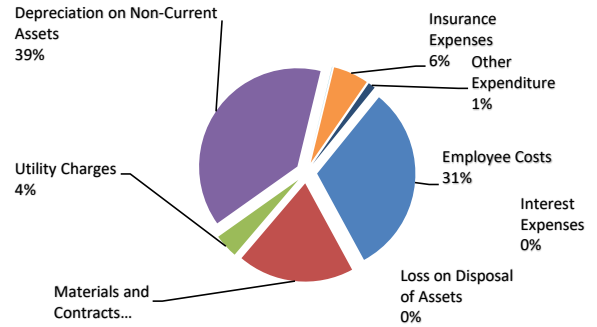
Note: The Statements and accompanying notes are prepared based on all transactions recorded at the time of preparation and may vary with the completion of Year end processes.

OPERATING ACTIVITIES

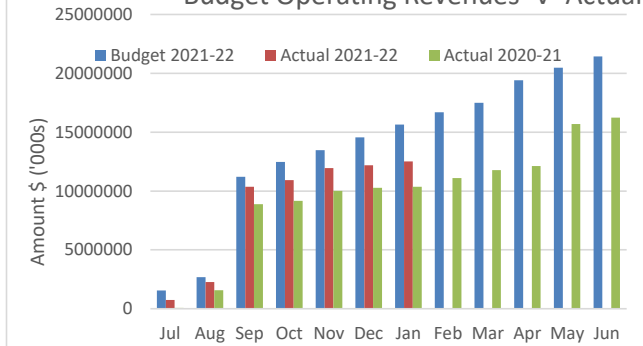
OPERATING REVENUE



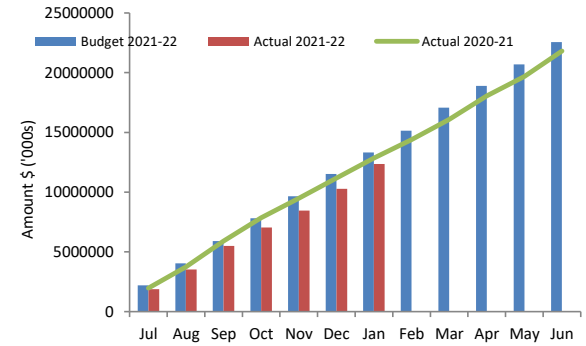
OPERATING EXPENSES



Budget Operating Revenues -v- Actual



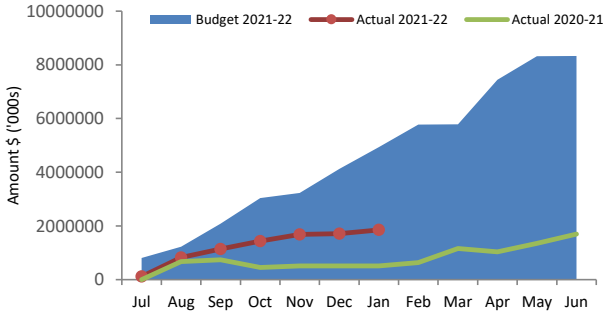
Budget Operating Expenses -v-YTD Actual



INVESTING ACTIVITIES

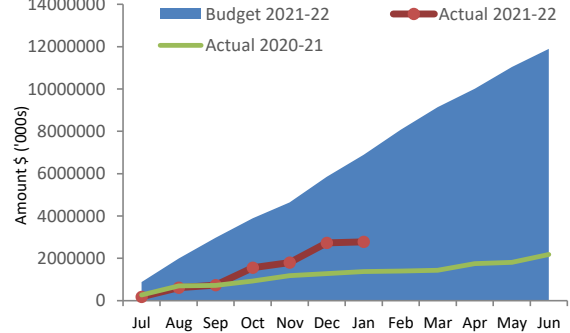
CAPITAL REVENUE

Non-Operating Grant Revenue -v- Actual



CAPITAL EXPENSES

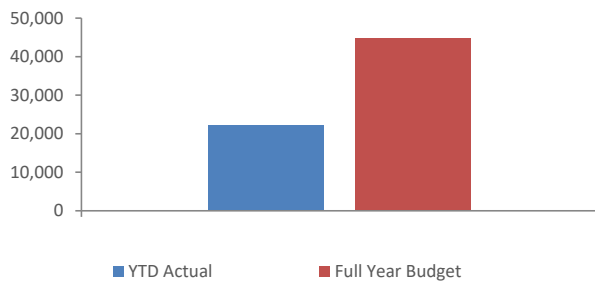
Budget Capital Expenses -v- Actual



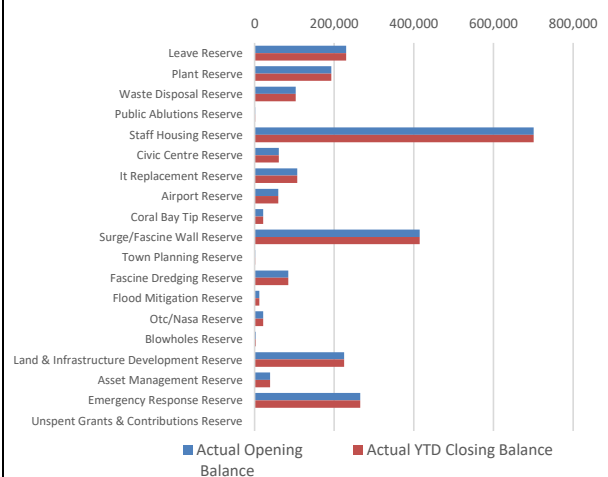
FINANCING ACTIVITIES

BORROWINGS

**Loan Repayments
Actual paid to date vs
Full year repayments due**



RESERVES



STATUTORY STATEMENT Local Government (Financial Management) Regulations 34

STATEMENT OF FINANCIAL ACTIVITY

BY PROGRAM

FOR THE PERIOD ENDED 31 JANUARY 2022

		REG 34(1)(a)	REG 34(1)(b)	REG 34(1)(c)	0	REG 34(1)(d)	REG 34(1)(d)	
	Ref Note	Adopted Budget	YTD Budget (a)	YTD Actual (b)		Var. \$ (b)-(a)	Var. % (b)-(a)/(a)	Var.
		\$	\$	\$		\$	%	
Opening funding surplus / (deficit)	1	6,215,963	6,215,963	6,958,952		742,989	11.95%	▲
Revenue from operating activities								
Governance		65,884	50,923	116,529		65,606	128.83%	▲
General purpose funding - general rates	9	5,767,048	5,766,352	5,778,671		12,319	0.21%	▲
General purpose funding - other		2,571,827	1,303,097	1,331,942		28,845	2.21%	▲
Law, order and public safety		384,612	240,002	199,347		(40,655)	(16.94%)	▼
Health		45,600	25,431	37,191		11,760	46.24%	▲
Education and welfare		310,190	221,141	153,457		(67,684)	(30.61%)	▼
Community amenities		2,086,561	1,882,179	1,854,636		(27,543)	(1.46%)	▲
Recreation and culture		131,199	72,477	255,540		183,063	252.58%	▲
Transport		1,136,519	808,442	717,789		(90,653)	(11.21%)	▼
Economic services		341,775	192,158	200,795		8,637	4.49%	▲
Other property and services		242,788	141,617	13,380		(128,237)	(90.55%)	▼
		13,084,003	10,703,819	10,659,276		(44,543)		
Expenditure from operating activities								
Governance		(1,475,458)	(843,166)	(630,586)		212,580	25.21%	▲
General purpose funding		(270,954)	(118,891)	(123,487)		(4,596)	(3.87%)	▲
Law, order and public safety		(1,122,956)	(687,522)	(656,849)		30,673	4.46%	▲
Health		(781,701)	(452,514)	(359,338)		93,176	20.59%	▲
Education and welfare		(840,461)	(507,953)	(445,899)		62,054	12.22%	▲
Housing		(184,842)	(120,717)	0		120,717	100.00%	▲
Community amenities		(1,960,933)	(1,144,845)	(1,135,961)		8,884	0.78%	▲
Recreation and culture		(4,220,064)	(2,539,614)	(2,249,002)		290,612	11.44%	▲
Transport		(9,341,491)	(5,456,911)	(5,179,312)		277,599	5.09%	▲
Economic services		(1,352,130)	(791,522)	(594,093)		197,429	24.94%	▲
Other property and services		(999,874)	(667,061)	(979,452)		(312,391)	(46.83%)	▼
		(22,550,864)	(13,330,716)	(12,353,979)		976,737		
Non-cash amounts excluded from operating activities								
Add: Loss on disposal of assets	6	25,400	25,400	0		(25,400)	(100.00%)	▼
Add: Depreciation on assets		8,212,681	4,790,688	4,770,393		(20,295)	(0.42%)	▲
Less: Movement in Provisions		0	0	(3,033)		(3,033)	0.00%	▲
Less: Movement in Contract Liabilities		(2,245,151)	0	0		0	0.00%	▲
Amount attributable to operating activities		(3,473,931)	2,189,191	3,072,657		886,499		
Investing Activities								
Non-operating grants, subsidies and contributions	7	7,356,828	4,936,137	1,850,710		(3,085,427)	(62.51%)	▼
Net Non-Operating Grants		7,356,828	4,936,137	1,850,710		(3,085,427)	(62.51%)	
Proceeds from disposal of assets	6	30,000	0	0		0	0.00%	▲
Payments for property, plant and equipment and infrastructure	5	(11,316,306)	(6,365,904)	(2,855,542)		3,510,362	55.14%	▲
Amount attributable to investing activities		(3,929,478)	(1,429,767)	(1,004,832)		424,935		
Financing Activities								
Proceeds from new debentures	12	947,000	0	0		0	0.00%	▲
Transfer from reserves	4	784,105	0	0		0	0.00%	▲
Payments for principal portion of lease liabilities		(298,028)	(813)	(813)		0	0.00%	▲
Repayment of debentures	12	(44,831)	(22,246)	(22,246)		0	0.00%	▲
Transfer to reserves	4	(200,800)	0	0		0	0.00%	▲
Amount attributable to financing activities		1,187,446	(23,059)	(23,059)		0		
Closing funding surplus / (deficit)	1	0	6,952,328	9,003,719		2,051,391		

KEY INFORMATION

▲ ▼ Indicates a variance between Year to Date (YTD) Actual and YTD Actual data as per the adopted materiality threshold. Refer to Note 2 for an explanation of the reasons for the variance.

The material variance adopted by Council for the 2021-22 year for Operating is (+) plus or (-) minus \$10,000 and for Capital (+) plus or (-) minus \$20,000 or 10.00% whichever is the highest.

This statement is to be read in conjunction with the accompanying Financial Statements and notes.
Ordinary Council Meeting - Schedules 22 February 2022

STATUTORY STATEMENT Local Government (Financial Management) Regulations 34

STATEMENT OF FINANCIAL ACTIVITY

BY NATURE OR TYPE

FOR THE PERIOD ENDED 31 JANUARY 2022

		REG 34(1)(a)	REG 34(1)(b)	REG 34(1)(c)	REG 34(1)(d)	REG 34(1)(d)	
	Ref	Adopted Budget	YTD Budget (a)	YTD Actual (b)	Var. \$ (b)-(a)	Var. % (b)-(a)/(a)	Var.
	Note						
Opening funding surplus / (deficit)	1	\$ 6,215,963	\$ 6,215,963	\$ 6,958,952	\$ 742,989	11.95%	▲
Revenue from operating activities							
Rates	9	5,767,048	5,766,352	5,778,671	12,319	0.21%	
Specified area rates	9	258,261	258,261	255,673	(2,588)	(1.00%)	
Operating grants, subsidies and contributions	8	3,535,225	2,066,042	1,850,544	(215,498)	(10.43%)	▼
Fees and charges		3,180,701	2,412,023	2,263,535	(148,488)	(6.16%)	
Interest earnings		83,500	48,706	64,366	15,660	32.15%	▲
Other revenue		259,268	152,435	446,489	294,054	192.90%	▲
		13,084,003	10,703,819	10,659,277	(44,542)		
Expenditure from operating activities							
Employee costs		(6,898,727)	(4,038,269)	(3,859,884)	178,385	4.42%	
Materials and contracts		(5,560,361)	(3,308,660)	(2,365,810)	942,850	28.50%	▲
Utility charges		(813,400)	(474,397)	(488,428)	(14,031)	(2.96%)	
Depreciation on non-current assets		(8,212,681)	(4,790,688)	(4,770,393)	20,295	0.42%	
Interest expenses		(44,634)	(20,931)	(4,107)	16,824	80.38%	▲
Insurance expenses		(540,661)	(440,318)	(718,976)	(278,658)	(63.29%)	▼
Other expenditure		(455,000)	(232,053)	(146,382)	85,671	36.92%	▲
Loss on disposal of assets	6	(25,400)	(25,400)	0	25,400	100.00%	▲
		(22,550,864)	(13,330,716)	(12,353,979)	976,737		
Non-cash amounts excluded from operating activities							
Add: Loss on disposal of assets	6	25,400	25,400	0	(25,400)	(100.00%)	
Add: Depreciation on assets		8,212,681	4,790,688	4,770,393	(20,295)	(0.42%)	
Less: Movement in Provisions		0	0	(3,033)	(3,033)	0.00%	
Less: Movement in Contract Liabilities		(2,245,151)	0	0	0	0.00%	
		5,992,930	4,816,088	4,767,360	(48,728)	(100.42%)	
Amount attributable to operating activities		(3,473,931)	2,189,191	3,072,659	911,900		
Investing activities							
Non-operating grants, subsidies and contributions	7	7,356,828	4,936,137	1,850,710	(3,085,427)	(62.51%)	▼
Net Non-Operating Grants		7,356,828	4,936,137	1,850,710	(3,085,427)		
Proceeds from disposal of assets	6	30,000	0	0	0	0.00%	
Payments for property, plant and equipment and infrastructure	5	(11,316,306)	(6,365,904)	(2,855,542)	3,510,362	55.14%	▲
Net Non-Operating Expenditure		(11,286,306)	(6,365,904)	(2,855,542)	3,510,362		
Amount attributable to investing activities		(3,929,478)	(1,429,767)	(1,004,832)	424,935		
Financing Activities							
Proceeds from new debentures	12	947,000	0	0	0	0.00%	
Transfer from reserves	4	784,105	0	0	0	0.00%	
Payments for principal portion of lease liabilities		(298,028)	(813)	(813)	0	0.00%	
Repayment of debentures	12	(44,831)	(22,246)	(22,246)	0	0.00%	
Transfer to reserves	4	(200,800)	0	0	0	0.00%	
Amount attributable to financing activities		1,187,446	(23,059)	(23,059)	(0)		
Closing funding surplus /(deficit) REG 34(1)(e)	1	0	6,952,328	9,003,719	2,051,391		

KEY INFORMATION

▲ ▼ Indicates a variance between Year to Date (YTD) Actual and YTD Actual data as per the adopted materiality threshold.

Refer to Note 2 for an explanation of the reasons for the variance.

The material variance adopted by Council for the 2020-21 year is \$10,000 or 10.00% whichever is greater.

This statement is to be read in conjunction with the accompanying Financial Statements and Notes.

Statutory document REG 34(2)(a)
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 JANUARY 2022

Note 1

Explanation of the composition of net current assets

	Notes	Opening Position		Closing Position	
		Adopted Budget	Last Years Actual Closing	This time last month	YTD Actual (b)
		Closing Surplus/Deficit Calculation 21/22	Closing Surplus 20/21, Unaudited Bfwd Actual 21/22	31/12/2021	31/01/2022
		\$	\$	\$	\$
Net current assets used in the Statement of Financial Activity					
Current assets					
Cash and cash equivalents	3	9,305	5,075,308	7,151,884	7,017,715
Cash backed Reserves		2,883,477	2,683,109	2,683,109	2,683,109
Rates receivables		0	834,186	2,438,540	2,138,387
Receivables	10	317,531	843,325	185,172	274,014
Inventories		13,090	63,090	91,337	92,617
Other current assets					
Total Current assets		3,223,403	9,499,018	12,550,041	12,205,842
Less: Current liabilities					
Payables		(339,926)	143,043	272,329	(519,014)
Contract liabilities		(21,827)	(2,334,858)	(2,334,858)	(2,334,858)
Borrowings	12	(7,719)	(52,550)	(30,305)	(30,305)
Lease liabilities	13	0	(348,948)	(348,135)	(348,135)
Employee Provisions		(1,003,582)	(587,386)	(584,352)	(584,353)
Total Current liabilities		(1,373,054)	(3,180,699)	(3,025,321)	(3,816,665)
Net Currents Assets		1,850,349	6,318,319	9,524,720	8,389,177
Less: Adjustments to net current assets					
Less: Reserves - restricted cash	4	(2,883,477)	(2,683,109)	(2,683,109)	(2,683,109)
Add: Contract liabilities (Grants received but not spent)		0	2,334,858	2,334,858	2,334,858
Add: Borrowings included in Budget	12	7,719	52,550	30,305	30,305
Add: Lease liabilities included in Budget	13	21,827	348,948	348,135	348,135
Add: Provisions - employee		1,003,582	587,386	584,352	584,353
Total adjustments to net current assets		(1,850,349)	640,633	614,541	614,542
Funding surplus/(deficit) (NET CURRENT ASSETS)		0	6,958,952	10,139,261	9,003,719

NOTE

CURRENT AND NON-CURRENT CLASSIFICATION

In the determination of whether an asset or liability is current or non-current, consideration is given to the time when each asset or liability is expected to be settled. Unless otherwise stated assets or liabilities are classified as current if expected to be settled within the next 12 months, being the Council's operational cycle.

Restricted cash includes outstanding reserve transfers.

Statutory document REG 34(2)(b)
NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 JANUARY 2022

Note 2

Explanation of material variances

The material variance thresholds are adopted annually by Council as an indicator of whether the actual expenditure or revenue varies from the year to date actual materially.

The material variance adopted by Council for the 2021-22 year for Operating is (+) plus or (-) minus \$10,000 and for Capital (+) plus or (-) minus \$20,000 or 10.00% whichever is the higher.

This is indicated by the up and down arrow symbols

Reporting Program	Var. \$	Var. %		Timing/ Permanent	Explanation of Variance
	\$	%			
Revenue from operating activities					
Governance	65,606	128.83%	▲	Timing	Insurance claim for storm and vandalism not in budget
General purpose funding - rates	12,319	0.21%			Within variance threshold
General purpose funding - other	28,845	2.21%			Within variance threshold
Law, order and public safety	(40,655)	(16.94%)	▼	Timing	Grant income has not yet been received
Health	11,760	46.24%	▲		Reimbursement of Legal costs
Education and welfare	(67,684)	(30.61%)	▼	Timing	Grant income has not yet been received
Housing	0	0.00%			Within variance threshold
Community amenities	(27,543)	(1.46%)			Within variance threshold
Recreation and culture	183,063	252.58%	▲	Permanent	Unbudgeted Insurance Claim revenue as a result of Cyclone Seroja. Will be addressed with the budget review.
Transport	(90,653)	(11.21%)	▼		Grant income has not yet been received
Economic services	8,637	4.49%		Timing	Within variance threshold
Other property and services	(128,237)	(90.55%)	▼	Timing	Private Works revenue is less than anticipated and Diesel Fuel rebate will be claimed in future months.
Expenditure from operating activities					
Governance	212,580	25.21%	▲	Timing	Over budget programme expenses to be addressed at the Mid Year Budget Review
General purpose funding	(4,596)	(3.87%)		Timing	General Program expenses are under budget at this point in time
Law, order and public safety	30,673	4.46%		Timing	General Program expenses are under budget at this point in time
Health	93,176	20.59%	▲	Timing	General Program expenses are under budget at this point in time
Education and welfare	62,054	12.22%	▲	Timing	General Program expenses are under budget at this point in time
Housing	120,717	100.00%	▲	Timing	General Program expenses are under budget at this point in time
Community amenities	8,884	0.78%		Timing	General Program expenses are under budget at this point in time
Recreation and culture	290,612	11.44%	▲	Timing	General Program expenses are under budget at this point in time
Transport	277,599	5.09%		Timing	General Program expenses are under budget at this point in time
Economic services	197,429	24.94%	▲	Timing	General Program expenses are under budget at this point in time
Other property and services	(312,391)	(46.83%)	▼	Timing	Over budget programme expenses to be addressed at the Mid Year Budget Review
Non-cash amounts excluded from operating activities					
Less: Profit on asset disposals	0	0.00%			Within variance threshold
Add: Loss on disposal of assets	(25,400)	(100.00%)		Timing	Vehicles yet to be traded in or sold
Add: Depreciation on assets	(20,295)	(0.42%)		Timing	Within variance threshold
Investing activities					
Proceeds from non-operating grants, subsidies and contributions	(3,085,427)	(62.51%)	▼	Timing	R2R, DFES, RADS and LRCI funding has not yet been received/brought to account. Refer to Note 7 for detail.
Proceeds from disposal of assets	0	0.00%			Within variance threshold
Payments for property, plant and equipment and infrastructure	3,510,362	55.14%	▲	Timing	Refer to Capital expenditure Note 5 for project details.
Financing activities					
Proceeds from new debentures	0	0.00%			Budgeted borrowings will occur when ordered assets are near to arrive arrival
Transfer from reserves	0	0.00%			Within variance threshold
Payments for principal portion of lease liabilities	0	0.00%			Within variance threshold
Repayment of debentures	0	0.00%			Within variance threshold
Transfer to reserves	0	0.00%			Within variance threshold
Opening funding surplus / (deficit)	742,989	11.95%	▲	Permanent	The Final audited result for 2021 is not complete, this amount is subject to change.

Shire of Carnarvon

SUPPORTING INFORMATION THE MONTHLY STATEMENTS PROVIDED FOR COUNCILLORS INFORMATION REG 34(2)(c) FOR THE PERIOD ENDED 31 JANUARY 2022

The Local Government (Financial Management) Regulations provide at 34.(2) that:
(2) Each Statement of financial activity is to be accompanied by documents containing —
(c) such other supporting information as is considered relevant by the local government;
as such the following supporting information is provided.

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**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 JANUARY 2022**

**Note 3
CASH AND FINANCIAL ASSETS**

Description	Classification	Unrestricted	Restricted	Total	Trust	Institution	Interest Rate	Maturity Date
		\$	\$	Cash \$				
Cash on hand								
Municipal Bank Account - 4334-09426	Cash and cash equivalents	5,184,603	(225,958)	4,958,645	0	ANZ Bank	0.00%	On Call
Municipal Online Account - 4510-69349	Cash and cash equivalents	1,369,276	0	1,369,276	0	ANZ Bank	0.05%	On Call
Municipal Bank Account - 3781-67777 - Visitor Centre	Cash and cash equivalents	114,097	0	114,097	0	ANZ Bank	0.00%	On Call
Trust Bank Account - 4334-09434	Cash and cash equivalents		0	0	231,769	ANZ Bank	0.00%	On Call
Reserve Bank Account-4334-75677	Cash and cash equivalents	0	271	271	0	ANZ Bank	0.00%	On Call
Reserve Online Account - 4516-72666	Cash and cash equivalents	0	2,909,067	2,909,067	0	ANZ Bank	0.05%	On Call
Investments								
Term Deposit - No.2 Blowholes	Cash and cash equivalents	33,703	0	33,703	0	WATC	0.05%	OCDF*
Total		6,701,679	2,683,380	9,385,059	231,769			
Comprising								
Cash and cash equivalents		6,701,679	2,683,380	9,385,059	231,769			
		6,701,679	2,683,380	9,385,059	231,769			

KEY INFORMATION

Cash and cash equivalents include cash on hand, cash at bank, deposits available on demand with banks and other short term highly liquid investments highly liquid investments with original maturities of three months or less that are readily convertible to known amounts of cash and which are subject to an insignificant risk of changes in value and bank overdrafts. Bank overdrafts are reported as short term borrowings in current liabilities in the statement of net current assets.

Restricted cash includes outstanding reserve transfers.

* OCDF - Overnight Cash Deposit Facility

NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 JANUARY 2022

FINANCING ACTIVITIES
Note 4
CASH RESERVES

Reserves

Reserve name	Original Budget Opening Balance	Actual Opening Balance	Actual Interest Earned	Original Budget Transfers In (+)	Actual Transfers In (+)	Original Budget Transfers Out (-)	Actual Transfers Out (-)	Original Budget Closing Balance	Actual YTD Closing Balance
	\$	\$	\$	\$	\$	\$	\$	\$	\$
LEAVE RESERVE									
Leave Reserve	229,798	229,808	317	100,000	0	0	0	329,798	230,125
Plant Reserve	192,449	192,457	0	0	0	0	0	192,449	192,457
Waste Disposal Reserve	103,320	103,324	0	50,000	0	0	0	153,320	103,324
Public Ablutions Reserve	1,764	1,764	0	0	0	0	0	1,764	1,764
Staff Housing Reserve	700,510	700,540	0	0	0	0	0	700,510	700,540
Civic Centre Reserve	60,512	60,515	0	0	0	0	0	60,512	60,515
It Replacement Reserve	107,061	107,065	0	0	0	0	0	107,061	107,065
Airport Reserve	59,299	59,302	0	0	0	0	0	59,299	59,302
Coral Bay Tip Reserve	21,859	21,860	0	50,000	0	0	0	71,859	21,860
Surge/Fascine Wall Reserve	414,424	414,442	0	0	0	0	0	414,424	414,442
Town Planning Reserve	1,451	1,451	0	0	0	0	0	1,451	1,451
Fascine Dredging Reserve	84,690	84,693	0	0	0	0	0	84,690	84,693
Flood Mitigation Reserve	11,885	11,886	0	0	0	0	0	11,885	11,886
Otc/Nasa Reserve	21,367	21,368	0	0	0	0	0	21,367	21,368
Blowholes Reserve	2,750	2,750	0	0	0	0	0	2,750	2,750
Land & Infrastructure Development Reserve	224,854	224,864	0	0	0	0	0	224,854	224,864
Asset Management Reserve	38,894	38,896	0	0	0	0	0	38,894	38,896
Emergency Response Reserve	265,391	265,402	0	0	0	0	0	265,391	265,402
Mosquito Management Reserve	5,373	5,373	0	800	0	0	0	6,173	5,373
Country Roads Grading	135,026	135,032	0	0	0	0	0	135,026	135,032
Reserve Funds	2,682,677	2,682,792	317	200,800	0	0	0	2,883,477	2,683,109
Unspent Grants									
Unspent Grants & Contributions Reserve	784,105	0	0	0	0	(784,105)	0	0	0
Total Unspent Grants cash backed in reserve	784,105	0	0	0	0	(784,105)	0	0	0
TOTAL CASH BACKED RESERVES	3,466,782	2,682,792	317	200,800	0	(784,105)	0	2,883,477	2,683,109

KEY INFORMATION

Reserves transfers to and from the Muni bank are in progress

**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 JANUARY 2022**

INVESTING ACTIVITIES

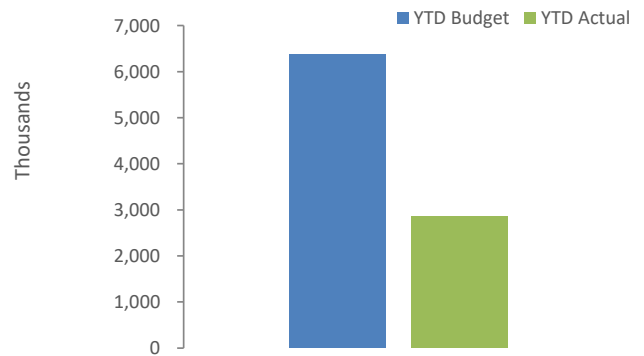
Note 5

CAPITAL ACQUISITIONS SUMMARY

Capital acquisitions	Adopted Budget	YTD Budget	YTD Actual	Variance
	\$	\$	\$	\$
Land & Buildings	436,416	227,726	163,271	(64,455)
Furniture & Equipment	111,000	64,757	5,000	(59,757)
Plant & Equipment	1,345,850	791,330	44,341	(746,989)
Roads	5,398,253	2,923,998	1,858,255	(1,065,743)
Footpaths	198,724	69,251	33,477	(35,774)
Drainage	40,000	39,999	3,687	(36,312)
Parks & Ovals	925,497	336,331	22,297	(314,034)
Airport	1,152,911	696,121	501,554	(194,567)
Other Infrastructure	1,312,655	952,640	146,741	(805,899)
Landfill	395,000	263,751	76,918	(186,833)
Payments for Capital Acquisitions	11,316,306	6,365,904	2,855,542	(3,510,362)
Right of use assets	0	0	0	0
Total Capital Acquisitions	11,316,306	6,365,904	2,855,542	(3,510,362)
Capital Acquisitions Funded By:				
	\$	\$	\$	\$
Capital grants and contributions	7,356,828	4,936,137	1,850,710	(3,085,427)
Other (disposals & C/Fwd)	30,000	0	0	0
Cash backed reserves				
Unspent Grants & Contributions Reserve	784,105	784,105	0	(784,105)
Contribution - operations	2,198,373	645,662	1,004,832	359,170
Capital funding total	11,316,306	6,365,904	2,855,542	(3,510,362)

SIGNIFICANT ACCOUNTING POLICIES

All assets are initially recognised at cost. Cost is determined as the fair value of the assets given as consideration plus costs incidental to the acquisition. For assets acquired at no cost or for nominal consideration, cost is determined as fair value at the date of acquisition. The cost of non-current assets constructed by the local government includes the cost of all materials used in the construction, direct labour on the project and an appropriate proportion of variable and fixed overhead. Certain asset classes may be revalued on a regular basis such that the carrying values are not materially different from fair value. Assets carried at fair value are to be revalued with sufficient regularity to ensure the carrying amount does not differ materially from that determined using fair value at reporting date.



5. CAPITAL ACQUISITIONS DETAILED

		Adopted				
Account	Job	Account Description	Original Budget	YTD Budget	YTD Actual	Variance (Under)/Over
Land & Buildings						
0604		Land & Buildings	30,000	17,500	0	(17,500)
	2314 0375	Rubbish Tip	0	0	235	235
1224		Land & Buildings - Dfes	141,000	141,000	140,856	(144)
2974	0410	7 Airport Cres. - Capital	15,000	8,750	10,018	1,268
3064	LRC016	Public Toilets Baxter Park	100,000	0	0	0
3680	1501	Depot Improvements	69,431	5,495	0	(5,495)
3688		Depot Information Technology Links	6,000	0	0	0
3764	LRC015	Baston Oval Ablutions Upgrade	20,000	0	0	0
4154	0415	Main Airport Terminal	20,000	19,998	205	(19,793)
4154	LRC008	Airport Amenity Improvements	34,985	34,983	11,956	(23,027)
			436,416	227,726	163,271	(64,455)
Furniture & Equipment						
0594		Furn & Equip (Admin)	20,000	11,669	0	(11,669)
0598		Equipment (New And Renewal) For I.T.	56,000	32,669	0	(32,669)
3554		Furn & Equip (Lib)	35,000	20,419	5,000	(15,419)
			111,000	64,757	5,000	(59,757)
Plant & Equipment						
1234		Plant & Equip - Dfes	0	0	24,064	24,064
2514		Plant And Equipment - Refuse Site	265,000	154,581	0	(154,581)
3274	1564	Other Plant And Equipment - Aquatic Centre	30,000	17,500	1,293	(16,207)
3344		Plant And Equipment	30,000	30,000	0	(30,000)
4114		Plant & Equip. - Airport	25,000	8,333	0	(8,333)
4284		Plant & Equipment	995,850	580,916	18,985	(561,931)
			1,345,850	791,330	44,341	(746,989)
Roads						
3740						
3740	R2R209	Harbour Road - Roads To Recovery	807,225	453,383	0	(453,383)
3740	R2R241	Main Street - Roads To Recovery	807,225	269,075	780,827	511,752
3747	RRG066	Blowholes Road	375,000	503,199	495,067	(8,132)
3747	RRG121	Quobba Gnoraloo	950,000	291,662	509,189	217,527
3747	RRG174	Minilya/Lyndon Road	550,343	321,027	0	(321,027)
3747	RRG209	Harbour Road	1,192,775	883,505	18,053	(865,452)
3760	C702	Grid Construction & Approches	266,017	151,980	50,304	(101,676)
3760	C737	Water Bore Installation	125,000	20,833	0	(20,833)
3760	LRC001	Dog Fence Project Support	14,668	14,667	0	(14,667)
3760	LRC018	Culverts And Flood Wall Rock Minilya Lyndon & Wahroonga Pimb	310,000	14,667	4,815	(9,852)
			5,398,253	2,923,998	1,858,255	(1,065,743)
Footpaths						
3848		Bicycle Network Coral By Design And Construct	30,000	0	0	0
3850	9004	Temporary Budget Job No - Footpaths Asset Renewals (COA 3850)	118,724	69,251	0	(69,251)
3850	F004	Footpath - Robinson Street	0	0	500	500
3850	F177	Footpath - Johnston Street	0	0	11,651	11,651
3850	F178	Footpath - Olivia Terrace	0	0	11,325	11,325
3858		We Bicycles Network Carnarvon Feasibility Study	50,000	0	10,000	10,000

5. CAPITAL ACQUISITIONS DETAILED

198,724	69,251	33,477	(35,774)
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5. CAPITAL ACQUISITIONS DETAILED

		Drainage				
3770	D0002	Storm Water Pumps	40,000	39,999	3,687	(36,312)
			40,000	39,999	3,687	(36,312)
		Parks & Ovals				
3294	1562	Upgrades To Swimming Pool Bowl	55,000	55,000	0	(55,000)
3474	0615	Playground Equipment	50,000	0	0	0
3690	1154	Blowholes Development Project (Capital Works)	173,500	173,499	22,297	(151,202)
3690	R013	Skate Park Upgrade	80,000	13,333	0	(13,333)
3690	R046	Youth Precinct Development	566,997	94,499	0	(94,499)
			925,497	336,331	22,297	(314,034)
		Airport				
4124	A011	Northern Apron, Taxiway B Upgrade & Lighting Rwy 04/22	262,750	262,750	14,207	(248,544)
4124	A012	Coral Bay Airstrip Upgrade	415,871	415,871	427,244	11,373
4124	A015	Carnarvon Airport Airside Fencing , Boundary Fencing, Apron Ligh	474,290	17,500	60,104	42,604
			1,152,911	696,121	501,554	(194,567)
		Other Infrastructure				
3124	0495	Brown'S Range Cemetery - Niche Wall (Columbarium)	15,000	0	0	0
3124	LRC014	Pioneer Cemetery Remediation	59,000	59,000	12,538	(46,462)
3604	3616	Fascine Wall (Own Sources Capital Works)	250,000	0	20,552	20,552
3604	3620	Iws - Infrastructure (Bbrf)	224,431	220,493	172	(220,321)
3604	3621	Fascine Wall (Grant Funded)	3,000	3,000	0	(3,000)
3604	LRC005	Fascine Shelter & Bbq Project	49,500	49,500	0	(49,500)
3604	LRC006	Tramway Bridge Upgrade Project	48,000	10,000	0	(10,000)
3604	LRC007	Town Amenity Improvements	275,600	275,598	58,401	(217,197)
3604	LRC017	Brockman Park Retic And Landscape	148,912	148,912	0	(148,912)
3800	LRC012	Upgrade Power Supply Main Street	20,000	20,000	41,028	21,028
3974	0404	Replacement Of Triple J Transmitter	15,000	15,000	0	(15,000)
4214	LRC003	Coral Bay Visitor Signage Project	25,000	24,999	0	(24,999)
4214	LRC009	Blowholes Camping Area Improvements	159,212	106,140	3,050	(103,090)
4314	LCR004	Town Beach Kiosk Upgrade Project	20,000	19,998	11,000	(8,998)
			1,312,655	952,640	146,741	(805,899)
		Landfill				
2414	0385	New Refuse Site Development At Coral Bay	310,000	193,332	0	(193,332)
2614	0403	Install New Customer Service Booth	35,000	20,419	27,500	7,081
2614	LRC013	Solar Power Browns Range Tip	50,000	50,000	49,418	(582)
			395,000	263,751	76,918	(186,833)
TOTALS			11,316,306	6,365,904	2,855,542	(3,510,362)

**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 JANUARY 2022**

**INVESTING ACTIVITIES
Note 6
DISPOSAL OF ASSETS**

Asset Ref.	Asset description	Budget				YTD Actual			
		Net Book Value	Proceeds	Profit	(Loss)	Net Book Value	Proceeds	Profit	(Loss)
		\$	\$	\$	\$	\$	\$	\$	\$
	Community amenities								
	Rubbish Truck	46,500	23,000	0	(23,500)	0	0	0	0
	Recreation and culture								
	Utility Vehicle	8,900	7,000	0	(1,900)	0	0	0	0
		55,400	30,000	0	(25,400)	0	0	0	0

NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 JANUARY 2022

INVESTING ACTIVITIES

Note 7

NON-OPERATING GRANTS AND CONTRIBUTIONS

Non operating grants, subsidies and contributions revenue

Type	Adopted Budget Revenue	YTD Budget	YTD Revenue Actual	Comment
	\$	\$	\$	
Non-operating grants and subsidies				Date of receipt of LRCI Grants is still undetermined
Governance				
Law, order, public safety				
Capital Grant - Dfes	Tied	151,500	141,000	164,920
Health				
Community amenities				
LRCI Grant	Tied	50,000	50,000	0
L.R.C.I GRANT	Tied	156,000	91,000	0
Recreation and culture				
L.R.C.I. Grant	Tied	0	0	0
Grants - Blowholes Dev.	Tied	190,529	190,528	0
L.R.C.I. Grant	Tied	406,957	406,957	0
Grants - Integrated Water Project	Tied	465,000	465,000	291,865
Lrci Grant	Tied	168,912	168,912	0
Bbrf & Dpirid Grants (Skate Park & Youth Precinct)	Tied	646,997	0	30,000
Transport				
Local Roads & Community Infrastructure Grant	Tied	34,668	34,667	0
Regional Road Group	Tied	1,564,535	1,173,399	466,758
Roads To Recovery	Tied	1,615,450	1,211,586	0
R.A.D.S Grant	Tied	440,883	143,103	146,747
R.A.U.P. Grant	Tied	401,200	200,000	199,362
L.R.C.I. Infr. Grant	Tied	34,985	34,985	0
Lrci Grant	Tied	310,000	310,000	0
Wa Bicycle Network Coral Bay Design And Construct	Tied	15,000	15,000	5,000
Wa Bicycle Network Carnarvon Feasibility Study	Tied	0	0	10,000
Main Roads Funding	Tied	500,000	300,000	400,000
Economic services				
Lrci Grant - Infr.	Tied	204,212	0	0
		7,356,828	4,936,137	1,714,652

NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 JANUARY 2022

OPERATING GRANTS AND CONTRIBUTIONS

Provider	Type	Adopted Budget Revenue	YTD Budget	YTD Revenue Actual	Comment
		\$	\$	\$	
Operating grants and subsidies					
Governance					
Grant Income	Untied	30,000	30,000	30,000	
General purpose funding					
F.A.G.- General Purpose	Untied	1,744,263	872,132	872,132	
F.A.G. - Roads	Untied	694,264	347,132	347,132	
Law, order, public safety					
Bushfire Grant		17,120	12,840	14,329	
Emergency Svces Grant	Untied	35,410	35,409	13,283	
Grant-Emergency Risk Management (Aware)	Untied	25,082	25,082	0	
Grants And Contributions	Untied	129,697	0	0	
Dfes Grant Risk Officer	Untied	148,203	148,203	148,203	
Health					
Grants (Mosquito Funding)	Untied	8,000	4,662	4,617	
Education and welfare					
Grants- Service Agreement	Untied	244,190	183,141	127,992	
Recreation and culture					
Grants - Civic Centre		43,866	7,311	0	
Lib. And Gallery Grants		6,000	6,000	3,000	
Library Fundraising (Sale Of Books)		0	0	37	
Transport					
Mrwa Direct Grant	Untied	337,930	337,930	337,930	
Mrwa Streetlighting Contribution	Untied	21,200	21,200	0	
Mrwa Robinson Street Sweeping Contribution	Untied	10,000	10,000	10,000	
Mrwa Verge Mtnce Contribution	Untied	15,000	15,000	15,000	
Wa Bicycle Network Carnarvon Feasibility Study	Untied	25,000	0	0	
Agrn951- Tropical Low & Assoc Flooding 28 Jan - 8 Feb 2021	Untied	0	0	(99,111)	Correction required to costing
		3,535,225	2,056,042	1,840,544	

NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 JANUARY 2022

OPERATING ACTIVITIES
Note 9
RATE REVENUE

General rate revenue	Budget						YTD Actual				
	Rate in \$ (cents)	Number of Properties	Rateable Value	Rate Revenue	Interim Rate	Back Rate	Total Revenue	Rate Revenue	Interim Rates	Back Rates	Total Revenue
RATE TYPE				\$	\$	\$	\$	\$	\$	\$	\$
Gross rental value											
Residential	11.1200	1,679	22,108,446	2,458,459	(5,000)	4,000	2,457,459	2,456,736	0	(82,337)	2,374,399
Commercial/Industrial	10.3000	322	15,551,561	1,601,811	0	0	1,601,810	1,604,489	0	0	1,604,489
Special Use/Rural	11.1200	102	1,757,732	195,460	0	0	195,459	195,460	0	0	195,460
Unimproved value											
Mining	24.512000	46	501,801	123,001	0	4,000	127,001	123,001	0	0	123,001
Pastoral	11.110000	40	3,143,392	349,231	0	(88,000)	261,230	349,231	0	0	349,231
Intensive Horticultural	2.273000	170	23,409,501	532,098	0	(8,000)	524,097	532,098	0	0	532,098
Sub-Total		2,359	66,472,433	5,260,060	(5,000)	(88,000)	5,167,056	5,261,014	0	(82,337)	5,178,678
Minimum payment	Minimum \$										
Gross rental value											
Residential	1,158.58	395	457,639	457,639	0	0	457,639	457,639	0	0	457,639
Commercial/Industrial	1,158.58	59	68,356	68,356	0	0	68,356	68,356	0	0	68,356
Special Use/Rural	1,158.58	47	54,453	54,453	0	0	54,453	54,453	0	0	54,453
Unimproved value											
Mining	400.00	17	6,800	6,800	0	0	6,800	6,800	0	0	6,800
Pastoral	1,158.58	9	10,427	10,427	0	0	10,427	10,427	0	0	10,427
Intensive Horticultural	1,158.58	2	2,317	2,317	0	0	2,317	2,317	0	0	2,317
Sub-total		529	599,993	599,993	0	0	599,992	599,993	0	0	599,992
Total general rates							5,767,048	5,861,007	0	(82,337)	5,778,670
Other Rates	Rate in \$ (cents)										
SAR - GRV Coral Bay	0.06833		3,644,983	249,061	0	0	249,061	249,058	0	0	249,058
Ex-gratia rates							9,200	0	0	0	6,615
Total specified area rates			3,644,983	249,061	0	0	258,261	249,058	0	0	255,673
Total Rates							6,025,309	6,110,065	0	(82,337)	6,034,344

KEY INFORMATION

Prepaid rates are, until the taxable event for the rates has occurred, refundable at the request of the ratepayer. Rates received in advance give rise to a financial liability. On 1 July 2020 the prepaid rates were recognised as a financial asset and a related amount was recognised as a financial liability and no income was recognised. When the taxable event occurs the financial liability is extinguished and income recognised for the prepaid rates that have not been refunded.

Rate Revenue by Rate Type

**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 JANUARY 2022**

**Note 10
RECEIVABLES**

Rates receivable	30 June 2021	31 Jan 2022
	\$	\$
Opening arrears previous years		834,186
Levied this year		6,034,344
Less - collections to date		(4,730,143)
Equals current outstanding	834,186	2,138,387
Net rates collectable	834,186	2,138,387
% Collected		68.9%

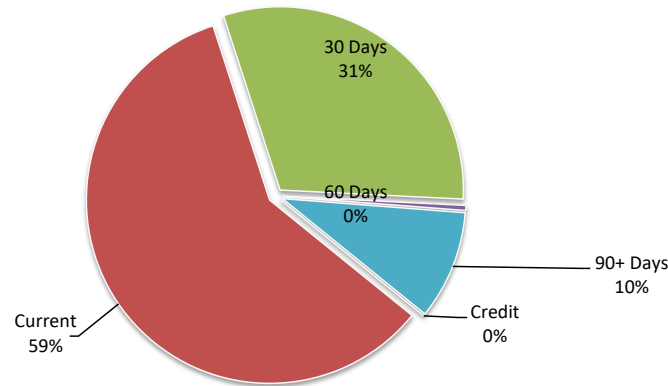
KEY INFORMATION

Trade and other receivables include amounts due from ratepayers for unpaid rates and service charges and other amounts due from third parties for goods sold and services performed in the ordinary course of business. Receivables expected to be collected within 12 months of the end of the reporting period are classified as current assets. All other receivables are classified as non-current assets. Collectability of trade and other receivables is reviewed on an ongoing basis. Debts that are known to be uncollectible are written off when identified. An allowance for impairment of receivables is raised when there is objective evidence that they will not be collectible.

Receivables - general	Credit	Current	30 Days	60 Days	90+ Days	Total
	\$	\$	\$	\$	\$	\$
Receivables - general	0	86,406	44,955	654	14,023	146,038
Percentage	0.0%	59.2%	30.8%	0.4%	9.6%	
Balance per trial balance						
Sundry receivable	0	86,406	44,955	654	14,023	146,038
* Due (to)/from ATO - GST and PAYG Net	0	198,751	0	0	0	198,751
Provision for Doubtful Debts	0	0	0	0	(5,184)	(5,184)
FESA Control	0	0	0	0	0	(65,254)
Accrued Income	0	0	0	0	0	(338)
Total receivables general outstanding	0	285,157	44,955	654	8,839	274,013

Amounts shown above include GST (where applicable)
* - Transactions pending from payroll system - processed in December.

Accounts Receivable (non-rates)

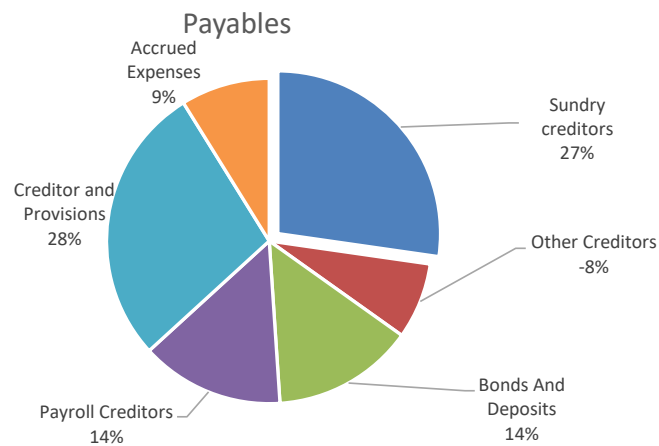


Payables - general	Credit	Current	30 Days	60 Days	90+ Days	Total
	\$	\$	\$	\$	\$	\$
Payables - general	0	83,199	10,903	0	72,711	166,813
Percentage	0%	49.9%	6.5%	0%	43.6%	
Balance per trial balance						
Sundry creditors	0	83,199	10,903	0	72,711	166,813
Other Creditors	(46,365)	0	0	0	0	(46,365)
Bonds And Deposits	0	86,233	0	0	0	86,233
Payroll Creditors	0	87,319	0	0	0	87,319
Creditor and Provisions	0	170,914	0	0	0	170,914
Accrued Expenses	0	54,100	0	0	0	54,100
Total payables general outstanding						519,014

Amounts shown above include GST (where applicable)

KEY INFORMATION

Trade and other payables represent liabilities for goods and services provided to the Shire that are unpaid and arise when the Shire becomes obliged to make future payments in respect of the purchase of these goods and services. The amounts are unsecured, are recognised as a current liability and are normally paid within 30 days of recognition.



**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 JANUARY 2022**

**FINANCING ACTIVITIES
Note 12
BORROWINGS**

Repayments - borrowings

Information on borrowings	Loan No.	1 July 2021	New Loans		Principal Repayments		Principal Outstanding		Interest Repayments	
			YTD Actual	Full Year Budget	YTD Actual	Full Year Budget	YTD Actual	Full Year Budget	YTD Actual	Full Year Budget
Particulars		\$	\$	\$	\$	\$	\$	\$	\$	\$
Transport										
Airport Corrective works	216	264,239	0	0	22,246	44,831	241,993	219,408	4,107	7,720
Water Truck	TBC	0	0	256,720	0	0	0	256,720	0	11,103
Rubbish Truck	TBC	0	0	353,000	0	0	0	353,000	0	0
Utility Vehicles (5)	TBC	0	0	227,280	0	0	0	227,280	0	0
LWB Utility Truck	TBC	0	0	110,000	0	0	0	110,000	0	0
Total		264,239	0	947,000	22,246	44,831	241,993	1,166,408	4,107	18,823
Current borrowings		30,305					30,305			
Non-current borrowings		211,689					211,689			
		241,994					241,994			

Loan Repayments are 6 monthly and are financed by general purpose revenue.

New borrowings 2021-22

The Shire has approved borrowing in the 2021/22 Budget of \$947,000 which are yet to be financed

Unspent borrowings

The Shire had no unspent debenture funds as at 30th June 2021, nor is it expected to have unspent funds as at 30th June 2022.

**NOTES TO THE STATEMENT OF FINANCIAL ACTIVITY
FOR THE PERIOD ENDED 31 JANUARY 2022**

**FINANCING ACTIVITIES
NOTE 13
LEASE LIABILITIES**

Movement in carrying amounts

Information on leases	Lease No.	New Leases			Principal Repayments		Principal Outstanding		Interest Repayments	
		1 July 2021	YTD Actual	Full Year Budget	YTD Actual	Full Year Budget	YTD Actual	Full Year Budget	YTD Actual	Full Year Budget
Particulars		\$	\$	\$	\$	\$	\$	\$	\$	
Other property and services										
Various Plant & Equipment		765,299	0		813	298,028	764,486	453,238	0	16,962
Total		765,299	0	0	813	298,028	764,486	453,238	0	16,962
Current lease liabilities		348,948					348,135			
Non-current lease liabilities		416,351					416,351			
		765,299					764,486			

All lease repayments were financed by general purpose revenue.

KEY INFORMATION

At inception of a contract, the Shire assesses if the contract contains or is a lease. A contract is, or contains, a lease if the contract conveys the right to control the use of an identified asset for a period of time in exchange for consideration. At the commencement date, a right of use asset is recognised at cost and lease liability at the present value of the lease payments that are not paid at that date. The lease payments are discounted using that date. The lease payments are discounted using the interest rate implicit in the lease, if that rate can be readily determined. If that rate cannot be readily determined, the Shire uses its incremental borrowing rate.

All contracts classified as short-term leases (i.e. a lease with a remaining term of 12 months or less) and leases of low value assets are recognised as an operating expense on a straight-line basis over the term of the lease.

Amendments to original budget since budget adoption. Surplus/(Deficit)

Account No.	Job No.	Description	Council Resolution	Classification	Original Budget	Current Budget	Increase in Available Cash	Decrease in Available Cash	Amended Budget Running Balance
							\$	\$	\$
*There are no budget amendments at this point in time									

MONTHLY FINANCIAL REPORT FOR THE PERIOD ENDED 31 JANUARY 2022

BASIS OF PREPARATION

REPORT PURPOSE

This report is prepared to meet the requirements of *Local Government (Financial Management) Regulations 1996*, Regulation 34. Note: The statements and accompanying notes are prepared based on all transactions recorded at the time of preparation and may vary due to transactions being processed for the reporting period after the date of preparation.

BASIS OF ACCOUNTING

This statement comprises a special purpose financial report which has been prepared in accordance with Australian Accounting Standards (as they apply to local governments and not-for-profit entities) and Interpretations of the Australian Accounting Standards Board, and the *Local Government Act 1995* and accompanying regulations.

The *Local Government (Financial Management) Regulations 1996* take precedence over Australian Accounting Standards. Regulation 16 prohibits a local government from recognising as assets Crown land that is a public thoroughfare, such as land under roads, and land not owned by but under the control or management of the local government.

Consequently, some assets, including land under roads acquired on or after 1 July 2008, have not been recognised in this financial report. This is not in accordance with the requirements of *AASB 1051 Land Under Roads paragraph 15* and *AASB 116 Property, Plant and Equipment paragraph 7*.

Accounting policies which have been adopted in the preparation of this financial report have been consistently applied unless stated otherwise. Except for cash flow and rate setting information, the report has been prepared on the accrual basis and is based on historical costs, modified, where applicable, by the measurement at fair value of selected non-current assets, financial assets and liabilities.

PREPARATION TIMING AND REVIEW

Date prepared: All processed transactions up to 31 January 2022

SIGNIFICANT ACCOUNTING POLICES

CRITICAL ACCOUNTING ESTIMATES

The preparation of a financial report in conformity with Australian Accounting Standards requires management to make judgements, estimates and assumptions that effect the application of policies and reported amounts of assets and liabilities, income and expenses. The estimates and associated assumptions are based on historical experience and various other factors that are believed to be reasonable under the circumstances; the results of which form the basis of making the judgements about carrying values of assets and liabilities that are not readily apparent from other sources. Actual results may differ from these estimates.

THE LOCAL GOVERNMENT REPORTING ENTITY

All funds through which the Shire controls resources to carry on its functions have been included in the financial statements forming part of this financial report.

In the process of reporting on the local government as a single unit, all transactions and balances between those funds (for example, loans and transfers between funds) have been eliminated.

All monies held in the Trust Fund are excluded from the financial statements. A separate statement of those monies

GOODS AND SERVICES TAX

Revenues, expenses and assets are recognised net of the amount of GST, except where the amount of GST incurred is not recoverable from the Australian Taxation Office (ATO). Receivables and payables are stated inclusive of GST receivable or payable. The net amount of GST recoverable from, or payable to, the ATO is included with receivables or payables in the statement of financial position. Cash flows are presented on a gross basis. The GST components of cash flows arising from investing or financing activities which are recoverable from, or payable to, the ATO are presented as operating cash flows.

ROUNDING OFF FIGURES

All figures shown in this statement are rounded to the nearest dollar.

KEY TERMS AND DESCRIPTIONS

FOR THE PERIOD ENDED 31 JANUARY 2022

STATUTORY REPORTING PROGRAMS

Shire operations as disclosed in these financial statements encompass the following service orientated activities/programs.

PROGRAM NAME AND OBJECTIVES

GOVERNANCE

To provide a decision making process for the efficient allocation of scarce resources.

ACTIVITIES

Includes the activities of members of Council and the administrative support available to the Council for the provision of governance to the district. Other costs relate to the task of assisting elected members and ratepayers on matters which do not concern specific council services.

GENERAL PURPOSE FUNDING

To collect revenue to allow for the provision of services.

Rates, general purpose government grants and interest revenue.

LAW, ORDER, PUBLIC SAFETY

To provide services to help ensure a safer and environmentally conscious community.

Supervision and enforcement of various local laws relating to fire prevention, animal control and other aspects of public safety including emergency services.

HEALTH

To provide an operational framework for environmental and community health.

Inspection of food outlets and their control, provision of meat inspection services, noise control and waste disposal compliance. Administration of the ROEROC health scheme and provision of various medical facilities.

EDUCATION AND WELFARE

To provide services to disadvantaged persons, the elderly, children and youth.

Maintenance and support of child minding and playgroup centres, senior citizen and aged care facilities.

HOUSING

To provide housing to staff.

Provision and maintenance of staff, community and joint venture housing.

COMMUNITY AMENITIES

To provide services required by the community.

Rubbish collection services, operation of rubbish disposal sites, litter control, construction and maintenance of urban storm water drains, protection of the environment and administration of town planning schemes, cemetery, public conveniences and community bus.

RECREATION AND CULTURE

To establish and effectively manage infrastructure and resources which help the social well being of the community.

Maintenance of public halls, aquatic centres, recreation centres and various sporting facilities. Provision and maintenance of parks, gardens, reserves and playgrounds. Provision of library services (contract). Support of museum and other cultural facilities and services.

TRANSPORT

To provide safe, effective and efficient transport services to the community.

Construction and maintenance of roads, streets, footpaths, cycling ways, airstrip, parking facilities and traffic control. Cleaning of streets and maintenance of street trees, street lighting etc.

ECONOMIC SERVICES

To help promote the Shire and its economic wellbeing.

Tourism and area promotion including the maintenance and operation of a caravan park. Provision of rural services including weed control, vermin control and standpipes. Building control.

OTHER PROPERTY AND SERVICES

To monitor and control Council's overhead operating accounts.

Private works operation, plant repair and operation costs, administration and engineering operation costs.

KEY TERMS AND DESCRIPTIONS

FOR THE PERIOD ENDED 31 JANUARY 2022

NATURE OR TYPE DESCRIPTIONS

REVENUE

RATES

All rates levied under the *Local Government Act 1995*. Includes general, differential, specified area rates, minimum rates, interim rates, back rates, ex-gratia rates, less discounts and concessions offered. Exclude administration fees, interest on instalments, interest on arrears, service charges and sewerage rates.

OPERATING GRANTS, SUBSIDIES AND CONTRIBUTIONS

Refers to all amounts received as grants, subsidies and contributions that are not non-operating grants.

NON-OPERATING GRANTS, SUBSIDIES AND CONTRIBUTIONS

Amounts received specifically for the acquisition, construction of new or the upgrading of identifiable non financial assets paid to a local government, irrespective of whether these amounts are received as capital grants, subsidies, contributions or donations.

REVENUE FROM CONTRACTS WITH CUSTOMERS

Revenue from contracts with customers is recognised when the local government satisfies its performance obligations under the contract.

FEES AND CHARGES

Revenues (other than service charges) from the use of facilities and charges made for local government services, sewerage rates, rentals, hire charges, fee for service, photocopying charges, licences, sale of goods or information, fines, penalties and administration fees. Local governments may wish to disclose more detail such as rubbish collection fees, rental of property, fines and penalties, other fees and charges.

SERVICE CHARGES

Service charges imposed under *Division 6 of Part 6 of the Local Government Act 1995*. *Regulation 54 of the Local Government (Financial Management) Regulations 1996* identifies these as television and radio broadcasting, underground electricity and neighbourhood surveillance services. Exclude rubbish removal charges. Interest and other items of a similar nature received from bank and investment accounts, interest on rate instalments, interest on rate arrears and interest on debtors.

INTEREST EARNINGS

Interest and other items of a similar nature received from bank and investment accounts, interest on rate instalments, interest on rate arrears and interest on debtors.

OTHER REVENUE / INCOME

Other revenue, which can not be classified under the above headings, includes dividends, discounts, rebates etc.

PROFIT ON ASSET DISPOSAL

Excess of assets received over the net book value for assets on their disposal.

EXPENSES

EMPLOYEE COSTS

All costs associate with the employment of person such as salaries, wages, allowances, benefits such as vehicle and housing, superannuation, employment expenses, removal expenses, relocation expenses, worker's compensation insurance, training costs, conferences, safety expenses, medical examinations, fringe benefit tax, etc.

MATERIALS AND CONTRACTS

All expenditures on materials, supplies and contracts not classified under other headings. These include supply of goods and materials, legal expenses, consultancy, maintenance agreements, communication expenses, advertising expenses, membership, periodicals, publications, hire expenses, rental, leases, postage and freight etc. Local governments may wish to disclose more detail such as contract services, consultancy, information technology, rental or lease expenditures.

UTILITIES (GAS, ELECTRICITY, WATER, ETC.)

Expenditures made to the respective agencies for the provision of power, gas or water. Exclude expenditures incurred for the reinstatement of roadwork on behalf of these agencies.

INSURANCE

All insurance other than worker's compensation and health benefit insurance included as a cost of employment.

LOSS ON ASSET DISPOSAL

Shortfall between the value of assets received over the net book value for assets on their disposal.

DEPRECIATION ON NON-CURRENT ASSETS

Depreciation expense raised on all classes of assets.

INTEREST EXPENSES

Interest and other costs of finance paid, including costs of finance for loan debentures, overdraft accommodation and refinancing expenses.

OTHER EXPENDITURE

Statutory fees, taxes, allowance for impairment of assets, member's fees or State taxes. Donations and subsidies made to community groups.

SHIRE OF CARNARVON POLICY



POLICY NO	D004	
POLICY	PROPERTY FENCES	
RESPONSIBLE DIRECTORATE	DEVELOPMENT SERVICES	
COUNCIL ADOPTION	Date	Resolution No. FC
REVIEWED/MODIFIED	Date:	Resolution No. FC
LEGISLATION	<ol style="list-style-type: none"> 1) <i>Local Government Act 1995, s.2.7(2)(b) – Council’s function in determining policies</i> 2) <i>The Dividing Fences Act 1961</i> 3) <i>Local Government (Miscellaneous Provisions) Act 1960</i> 4) <i>Planning and Development (Local Planning Schemes) Regulations 2015</i> 5) <i>Planning and Development Act 2015</i> 6) <i>State Planning Policy 7.3</i> 	
RELEVANT DELEGATIONS	5016	

INTRODUCTION

In accordance with Section 10 of the *Building Act 2011*, a Building Permit is required for the construction of all fences within the Carnarvon and Coral Bay townsites. As the townsites are located within Wind Region D, structural plans are required detailing the footings and connections for the proposed fence and must be signed off by a practicing structural engineer to confirm they are of sufficient strength for the towns Wind Region.

The design of front residential fences is controlled through State Planning Policy 7.3. The Policy relates to the “R Codes” - the Residential Design Codes of Western Australia which were prepared under section 26 of the *Planning and Development Act 2005* by the Western Australian Planning Commission.

The *Dividing Fences Act (1961)* provides a process for neighbours to agree on the fence that divides their properties, and to share the cost of construction and maintenance. The Act also provides for the courts the ability to deal with disputes that may arise over dividing fences.

OBJECTIVES

The objectives of the policy are:

- 1) To prescribe what is a ‘sufficient fence’ for the purposes of the Dividing Fences Act.
- 2) To provide guidance on the style, height and location of fencing;
- 3) Minimise adverse impacts that undesirable fences can have on the streetscape and neighbourhood amenity.

DEFINITIONS

Commercial Lot means a lot where a commercial use is or may be permitted under the local planning scheme; and is or will be the predominant use of the lot.

Dangerous (in relation to any fence) means:

- an electrified fence other than a fence in respect of that which has been given approval by the local government;
- a fence containing barbed wire other than a fence erected and maintained in accordance with this policy;
- a fence containing exposed broken glass, asbestos fibre, razor wire or any other potentially harmful projection or material;
- a fence (or part of a fence) which is likely to collapse or fall for any reason whatsoever.

Dividing Fence means a fence that separates the land of different owners whether the fence is on the common boundary of adjoining lands or on a line other than the common boundary.

Fence is any barrier, railing, wall or other upright structure intended to enclose an area of land, irrespective of material content, located on or near a common boundary of adjoining land or on a line other than the common boundary, and includes a front fence to a property but does not include any privacy screen, trellis or the like.

Height (in relation to the fence) means the vertical distance between the top of the fence at any point and the ground level immediately below. If the ground levels are not the same on each side of the fence, the height is measured from the higher ground level.

Industrial Lot means a lot where an industrial use is or may be permitted under the local planning scheme; and is or will be the predominant use of the lot.

Residential Lot means a lot where a residential use is or may be permitted under the local planning scheme; and is or will be the predominant use of the lot.

Rural Lot means a lot where a rural use is or may be permitted under the local planning scheme; and is or will be the predominant use of the lot.

Rural Residential Lot means a lot where a rural residential use is or may be permitted under the local planning scheme; and is or will be the predominant use of the lot.

Sufficient Fence means a fence prescribed by the local government or a fence of any standard agreed upon by adjoining owners provided that it does not fall below the standard prescribed by the local government.

Visually Permeable has the meaning given in the R-Codes.

LEGISLATION

This is a local planning policy prepared under the *Planning and Development (Local Planning Schemes) Regulations 2015*. It may be cited as the *Property Fences local planning policy*.

The local government may prepare a local planning policy in respect of any matter related to the planning and development of the Scheme area. In making a determination under the Scheme the local government must have regard to each relevant local planning policy to the extent that the policy is consistent with the Scheme.

- Local Government Act 1995, s.2.7(2)(b) – Council’s function in determining policies
- The Dividing Fences Act 1961
- Local Government (Miscellaneous Provisions) Act 1960
- Planning and Development (Local Planning Schemes) Regulations 2015
- State Planning Policy 7.3 - Residential Design Codes.

POLICY CONTENT

1) Front Fences

- a) Under State Planning Policy 7.3 a fence (including gate) within the front setback of a property (including front boundaries) can be constructed to no more than 1200mm if solid, and must be visually permeable between 1200mm and 1800mm.
- b) However, within 1.5m of where the driveway intersects with the property boundary, the maximum height for a solid fence or gate is 750mm. This maintains sight lines for and of vehicles entering and

exiting the property. If the gate is to be constructed entirely out of a visually permeable design such as pool or garrison fencing, then the full height of 1800mm is permitted.

- c) Although the above requirements can be varied in some instances, they must be justifiable and may be subject to additional approvals.

2) Sufficient Fences

- a) A sufficient dividing fence for a Residential Lot:
 - i) may be constructed of timber pickets, corrugated fibre reinforced pressed cement, metal sheeting, brick, stone or concrete.
 - ii) should be a maximum height of 1.8m or 2.1m where it is visually permeable above 1.8m.
- b) A sufficient dividing fence for a Commercial or an Industrial Lot:
 - i) may be constructed of galvanized or PVC coated rail-less link mesh, chain mesh, steel mesh, fibre reinforced cement sheet, metal sheeting, timber, brick, stone or concrete.
 - ii) should be a maximum height of 2m on top of which there may be 3 strands of barbed wire to a maximum height of 2.4m.
- c) A sufficient dividing fence for a Rural Lot is a fence of post and wire construction to prevent stock from passing through and may be electrified.
- d) A sufficient dividing fence for a Rural Residential Lot is a fence constructed in accordance with either clause 2) a) or 2) c).
- e) Where a fence is erected on or near the boundary between:
 - i) a residential lot and either a commercial, industrial, rural or rural residential lot a sufficient fence is a dividing fence constructed in accordance with the specifications for a residential lot.
 - ii) a commercial lot or an industrial lot and a rural or rural residential lot, a sufficient fence is a dividing fence constructed in accordance with the specifications for a commercial or an industrial lot.

3) Barbed Wire Fences

- a) An owner or occupier of a residential lot shall not erect or affix, to any fence on such a lot, any barbed wire or any other material with spiked or jagged projections, unless the prior written approval of the local government has been obtained.
- b) An owner or occupier of a commercial lot or an industrial lot shall not erect or affix, on any fence bounding that lot, any barbed wire or other materials with spiked or jagged projections unless the wire or materials are a minimum of 2m above ground level.
- c) If the posts which carry the barbed wire or other material are angled towards the outside of the lot bounded by the fence, the face of the fence must be set back from the lot boundary a sufficient distance to ensure that the angled posts, barbed wire or other materials do not encroach over the boundary.

4) Electrified Fence

- a) Other than on a rural or rural residential lot, an owner or occupier shall not erect an electrified fence without first obtaining the approval of the local government.

5) Razor Wire Fence

- a) An owner or occupier shall not erect a fence constructed wholly or partly of razor wire fence without first obtaining the approval of the local government.
- b) A razor wire fence should not be located within 3m of the boundary of the lot and should be at least 2m above ground level.

6) Fencing in the Primary Street Setback

- a) Dividing fences that are located in the primary street setback area should be a maximum solid height of 1.2m for a length of at least 1.5m (refer to Figure 1).

- b) Where a dividing fence, that is located in the primary street setback area, is within 1.5m of a vehicle access point then the fence should be no higher than 0.75m in accordance with clause 5.2.5, C5 of the R-Codes (refer to Figure 2).
 - 1) Where this cannot be achieved an application for development approval is required and will be assessed against the performance criteria of the R-Codes.
- c) Where a dividing fence, that is located in the primary street setback area, adjoins a dividing fence that is not located in the primary street setback area (e.g. a side fence adjoins a rear fence), then the fence may be constructed in accordance with clause 1) a) provided there is no vehicle access point within 1.5m (refer to Figure 3).
- d) Unobstructed sight lines are to be provided at vehicle access points to ensure safety and visibility along vehicle access ways, streets, rights-of-way, communal streets, crossovers, and footpaths in accordance with clause 5.2.5, P5 of the R-Codes (refer to Figure 4).

Figure 1.

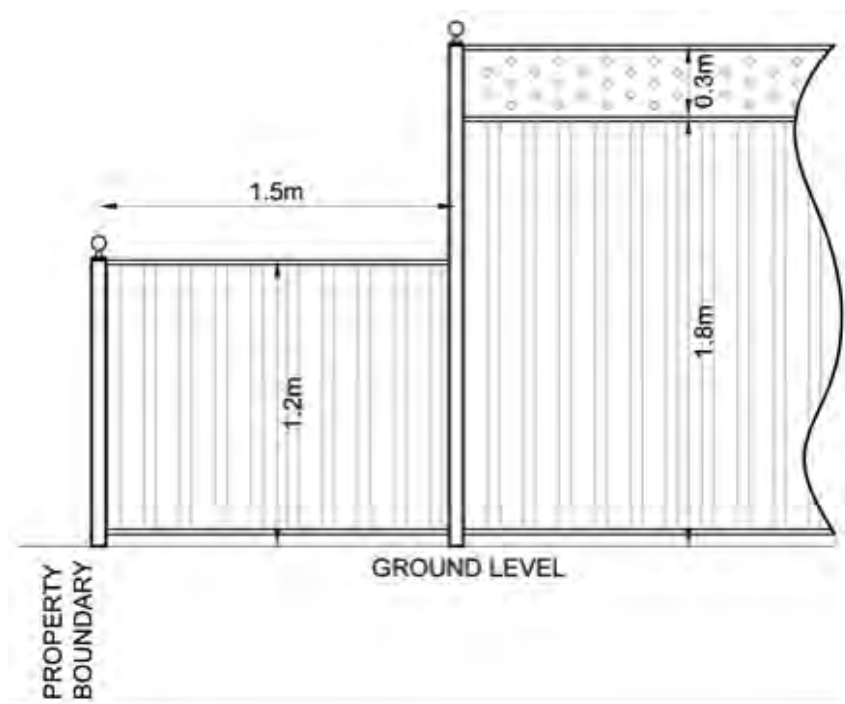


Figure 2.

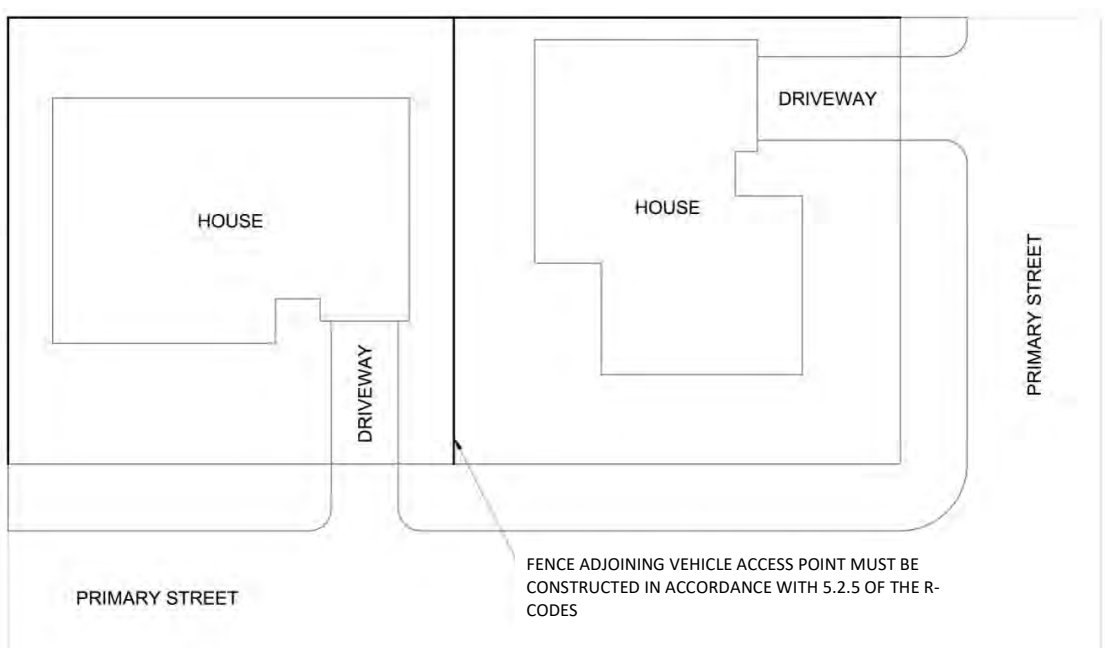


Figure 3.

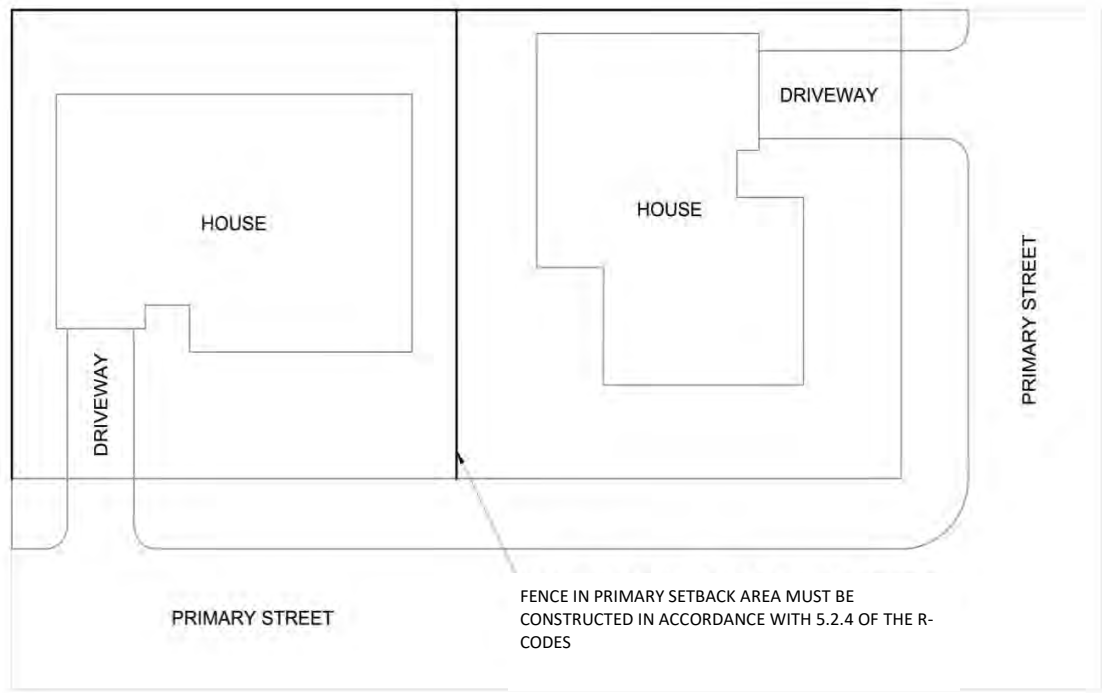
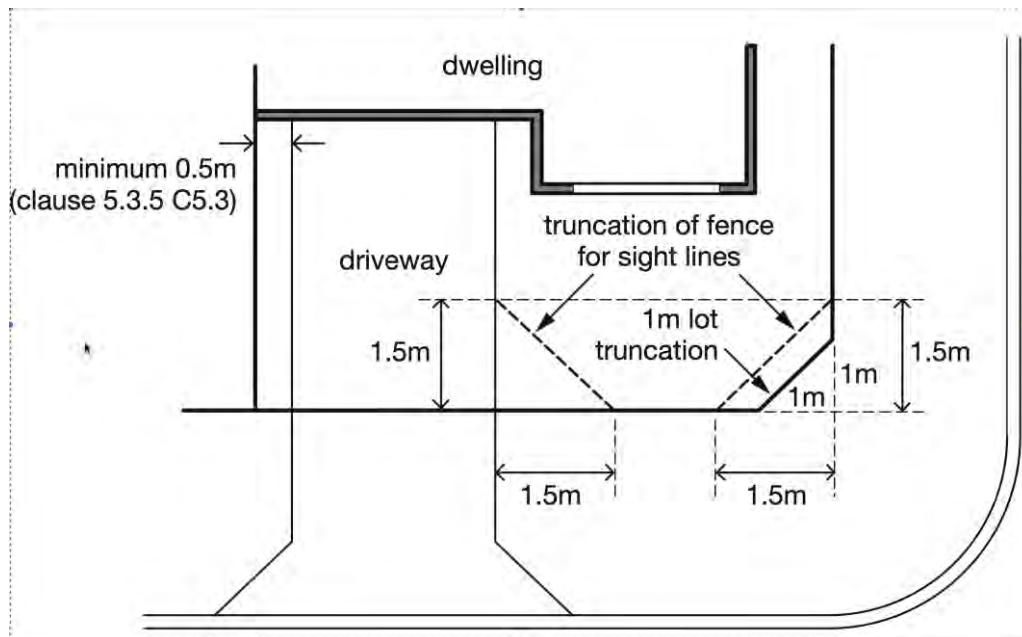


Figure 4.





Minutes

COMMUNITY GROWTH FUND COMMITTEE TO BE HELD IN COUNCIL CHAMBERS, STUART STREET CARNARVON ON WEDNESDAY 16TH FEBRUARY 2022 COMMENCING AT 9:00am

1.0 ATTENDANCES AND APOLOGIES

Cr MaslenCouncillor
Cr VandeleurCouncillor
Cr FerreirinhaCouncillor
David Perry..... Executive Manager Development & Community
Kate MedhurstExecutive Assistant Development & Community
Kristine AdcockCommunity Development Officer

Apologies

Cr Skender.....Councillor

2.0 NOMINATION OF A COMMITTEE CHAIR

Cr Vandeleur was nominated for position of Chair, was unopposed and opened the meeting at 09:03am.

Cr Skender was Nominated by Cr Maslen and Cr Ferreirinha for the position for Vice Chair and was elected unopposed.

3.0 REPORTS

3.1 COMMUNITY GROWTH FUND – RATES CONCESSION APPLICATIONS

File No:	ADM0080
Date of Meeting:	16 February 2022
Location/Address:	3 Francis Street, Carnarvon
Name of Applicant:	Various
Name of Owner:	Shire of Carnarvon
Author/s:	David Perry – Executive Manager Development & Community Kate Medhurst - Executive Assistant Development & Community
Declaration of Interest:	Nil
Voting Requirements:	Simple Majority
Previous Report:	Nil
Schedules:	Nil

Summary of Item

This meeting is to inform committee for the considerations and decisions made by the Community Growth Fund Committee in processing applications for Rates Donation. This committee has delegated authority for determining the outcomes of applications.

C025 Community Growth Fund Policy (See appendix 1) states that an annual application must be made by eligible community groups and organisations. It is the responsibility of applicant to contact the Shire Rates Officer to request an application form and submit it on time. Late applications will not be considered.

At Full Council Meeting in September 2020, the item number 8.5.1 (See appendix 2) was a review of C025 Community Growth Fund Policy – It was recommended that the Rates Donations be reduced from 90% to 50% for the 2021/2022 financial year. Application would be required to be by 30 April each year to allow Council to include it in its annual budget.

The Annual Budget was adopted Special Council meeting 31 August 2021 – SCM 3/8/21 for the 21/22 Financial Year budget being \$48,000 for Rates concessions. No additional funds will be required if all applications are approved at 50% concession.

Below is a summary of the Clubs/Organisations that have applied for the 2021/2022 rates concession.

Assessment Number	Name/Club	Discount	21/22 Rate	Concession Rate
A2904	Gascoyne Memorial Foundation	50%	\$8,708.29	\$4,354.15
A3095	Gascoyne Memorial Foundation	50%	\$38,568.61	\$19,284.31
A3199	Carnarvon Pistol Association	50%	\$1,158.58	\$579.29
A3105	Carnarvon Motorcycle Club	50%	\$1,158.58	\$579.29
A3200	Carnarvon Rifle Club	50%	\$1,158.58	\$579.29
A3873	Carnarvon Horse and Pony Club	50%	\$1,158.58	\$579.29
A3010	Carnarvon Speedway Club	50%	\$1,421.40	\$710.70
A972	Carnarvon Heritage Group	50%	\$1,523.44	\$761.72
A568	The Gascoyne Lodge of Freemasons (Masonic Lodge)	50%	\$2,001.60	\$1,000.80
A831	Carnarvon Arts and Crafts Workshop	50%	\$2,154.50	\$1,077.25
A3096	Carnarvon Community and Senior Citizens	50%	\$2,571.50	\$1,285.75
A678	Carnarvon Tennis Club	50%	\$3,600.00	\$1,800.00
A3201	Carnarvon Heritage Group	50%	\$3,779.13	\$1,889.57
A348	Carnarvon Yacht Club	50%	\$5,017.90	\$2,508.95
A3924	Carnarvon Space and Tech Museum	50%	\$6,489.00	\$3,244.50
A96	Carnarvon Racing Club	50%	\$6,571.92	\$3,285.96
A923	PCYC	50%	\$7,126.36	\$3,563.18
A757	Carnarvon Bowling Club	50%	\$1,523.44	\$761.72
		TOTAL	\$95,691.41	\$47,845.71

OFFICER'S RECOMMENDATION 1

The Community Growth Fund Committee accept the application of 50% Rate Concessions to the following Clubs/Organisations.

Assessment Number	Name/Club	Discount	21/22 Rate	Concession Rate
A2904	Gascoyne Memorial Foundation	50%	\$8,708.29	\$4,354.15
A3095	Gascoyne Memorial Foundation	50%	\$38,568.61	\$19,284.31
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		TOTAL	\$95,691.41	\$47,845.71

OFFICER'S RECOMMENDATION 2

The Community Growth Fund Committee recommend to Council to remove the Rates Donations from the C025 Community Growth Fund Policy and encourages Community Clubs to apply for alternate grants available, including the Shire of Carnarvon's Community Growth Fund Small Assistance Donations.

CGFC 1/2/22

COMMITTEE RESOLUTION 1 & OFFICER'S RECOMMENDATION 1

Cr Maslen /Cr Ferreirinha

The Community Growth Fund Committee accept the application of 50% Rate Concessions to the following Clubs/Organisations:

Assessment Number	Name/Club	Discount	21/22 Rate	Concession Rate
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		TOTAL	\$95,691.41	\$47,845.71

F3/A0

CGFC 2/2/22

COMMITTEE RESOLUTION & OFFICER'S RECOMMENDATION 2

Cr Maslen /Cr Ferreirinha

The Community Growth Fund Committee recommend to Council to remove the Rates Donations from the C025 Community Growth Fund Policy and encourages Community Clubs to apply for alternate grants available, including the Shire of Carnarvon's Community Growth Fund Small Assistance Donations.

CARRIED

F3/A0

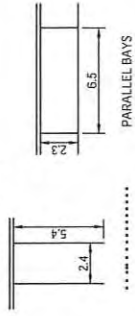
Note: Community Groups & Organisations to be sent out a letter with the acceptance of the Rates Donations for 21/22 that this will not be available in the future and have other grant options they can apply for.

3.0 CLOSURE

The meeting was closed at 09:10am

- LEGEND**
- CADASTRAL BOUNDARY
 - LOT 4 CADASTRAL BOUNDARY
 - FOOTPATHS (AS PER LATEST LANDSCAPE PLAN, TO BE FINALISED)
 - ELECTRICAL/COMMS TERMINATION POINT
 - HYDRAULIC SERVICES TERMINATION POINT (WATER, SEWER, GAS)

TYPICAL PARKING BAY SIZE



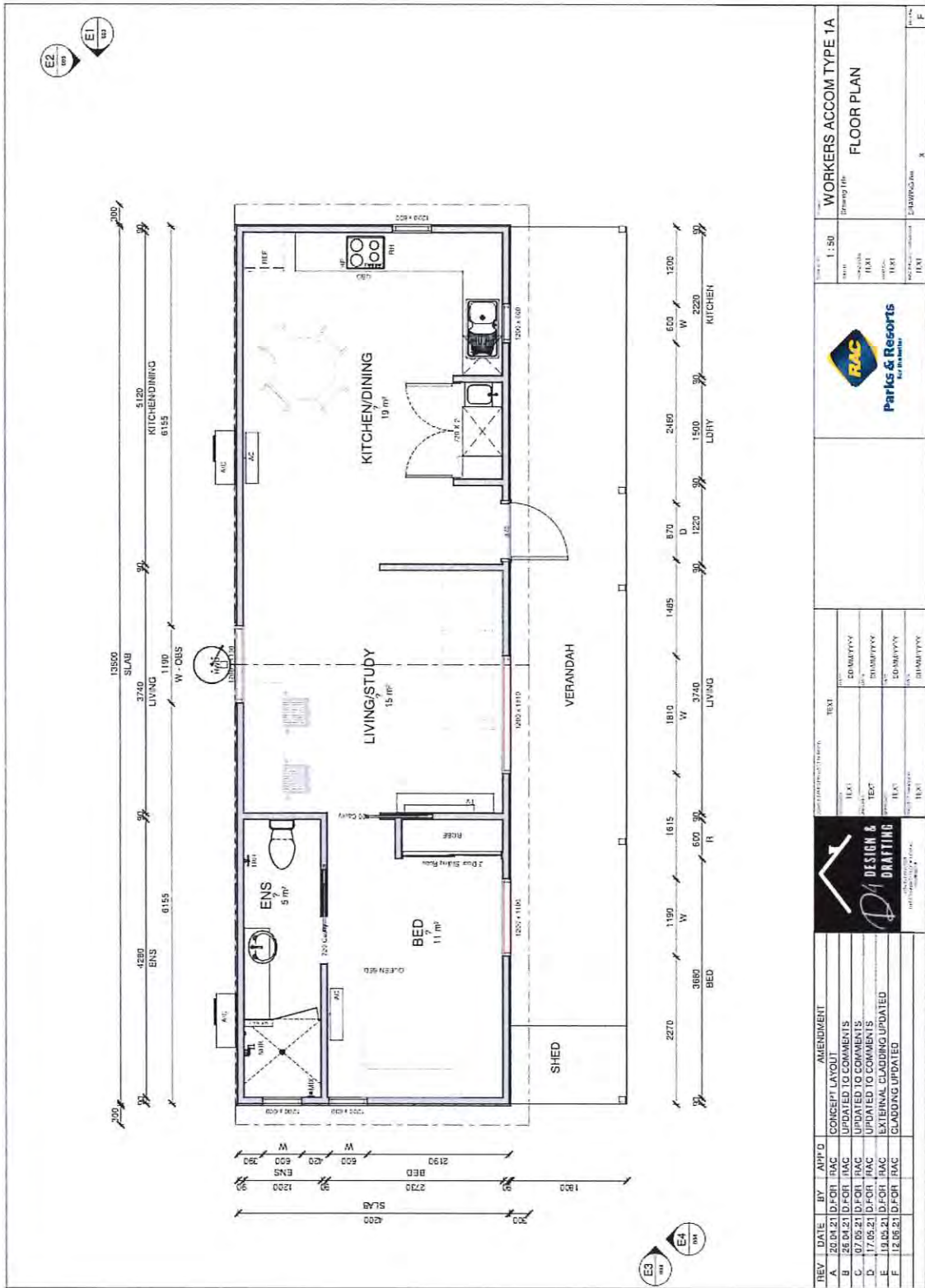
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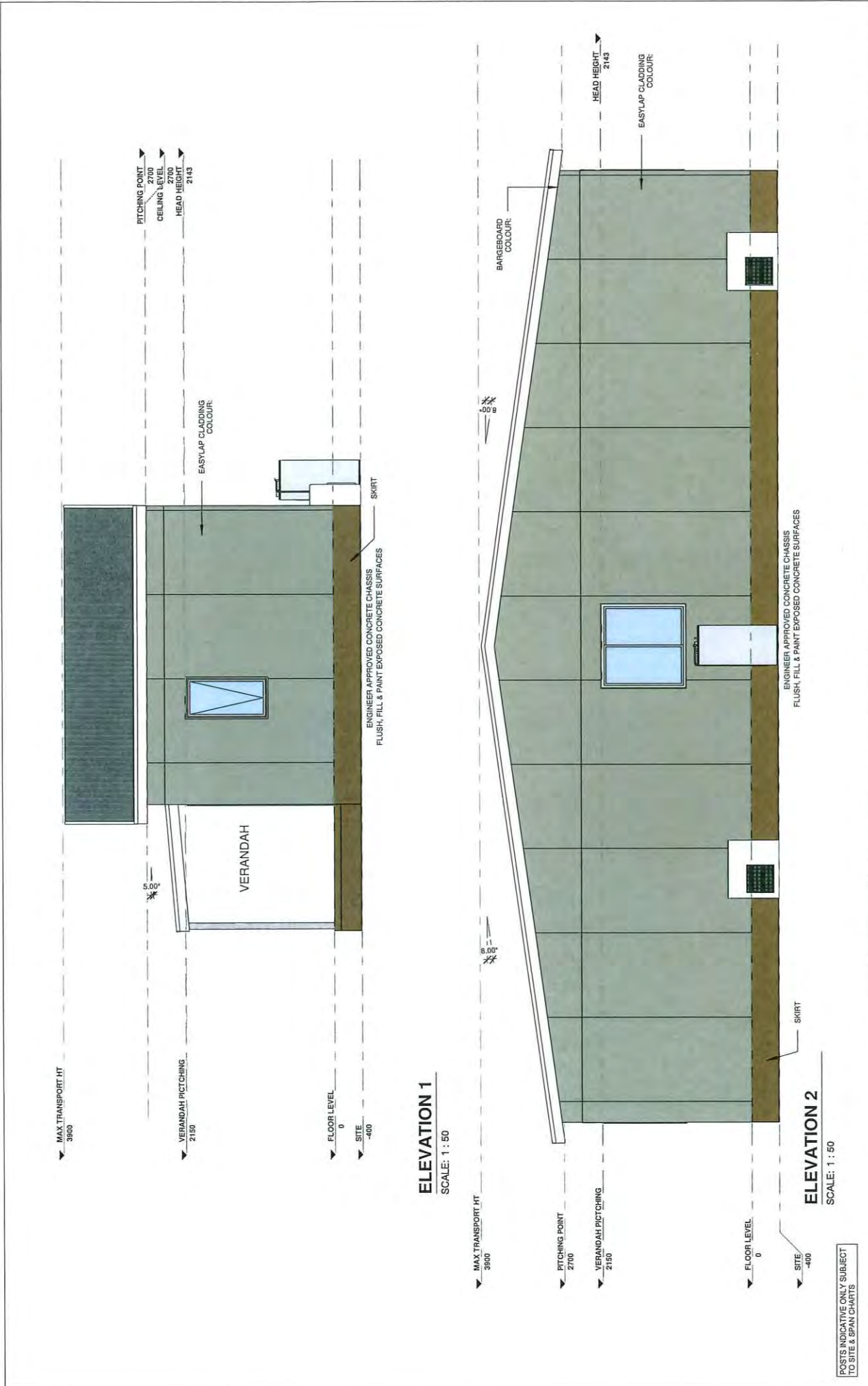
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DATE: EXMS4	TITLE: WORKERS ACCOMMODATION VILLAGE
DESIGNER: AHD	PARKING AREAS LAYOUT
DATE: J.LLOURENS	DRAWING NO: CRB-002-GEN-SKT-001
DATE: J.LLOURENS	REV: B



REVISION	DATE
ISSUED FOR INFORMATION	
EXTENDED	
APPROVED	
PROJECT MANAGER	

NO.	DATE	BY	APPD	AMOUNT
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B	01/02/2022	ANI		





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SCALE: 1 : 50

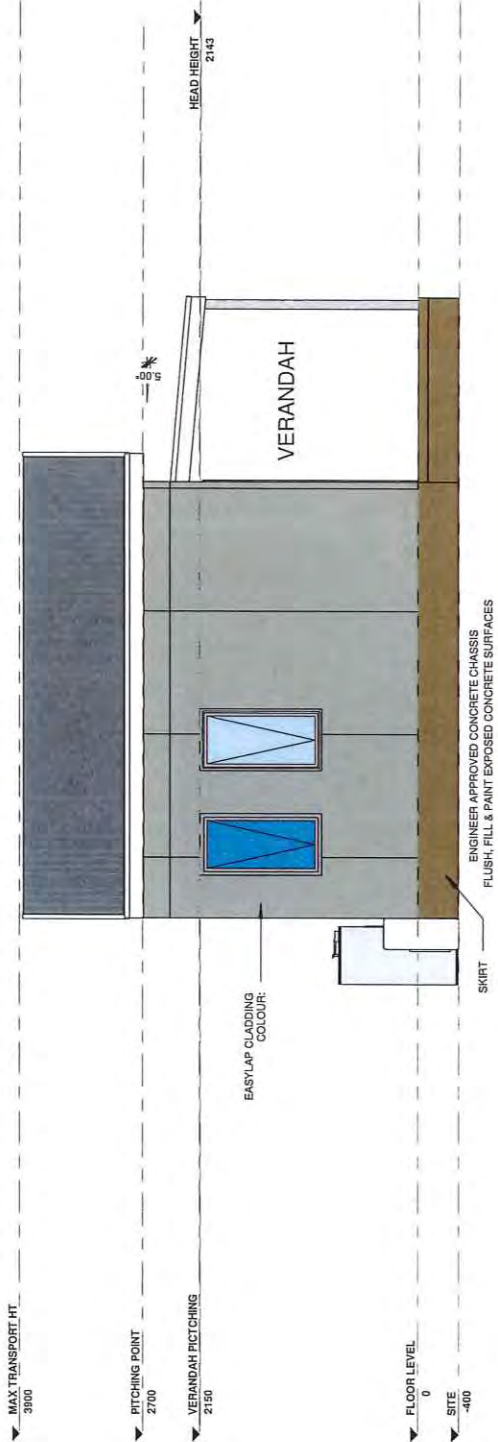
ELEVATION 2
SCALE: 1 : 50

POSTS INDICATIVE ONLY SUBJECT TO SITE & SPAN CHARTS

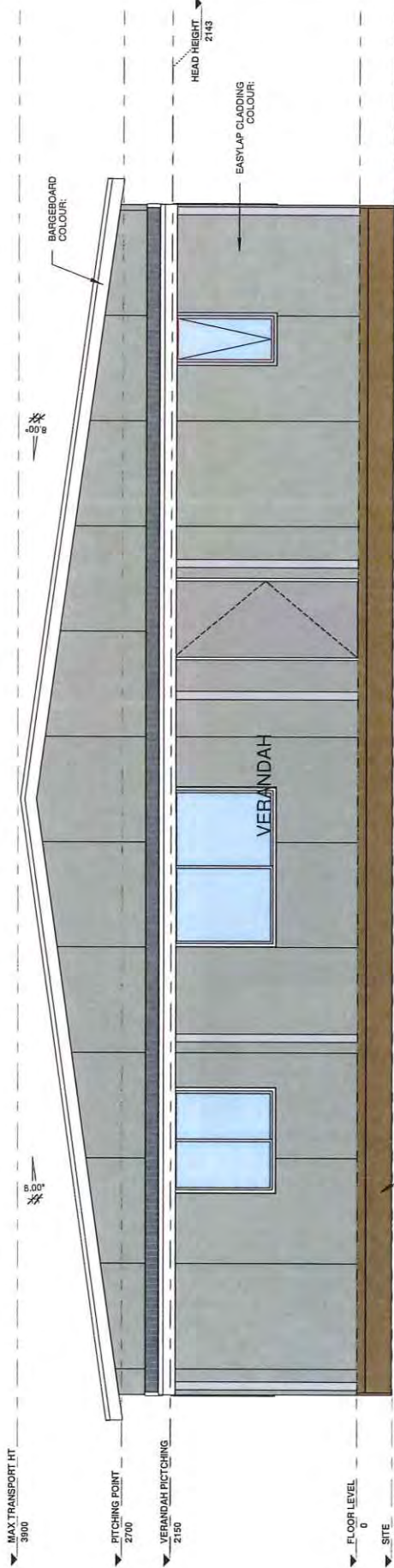
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A	20.04.21	D.FOR	RAC	CONCEPT LAYOUT
B	26.04.21	D.FOR	RAC	UPDATED TO COMMENTS
C	07.05.21	D.FOR	RAC	UPDATED TO COMMENTS
D	17.05.21	D.FOR	RAC	UPDATED TO COMMENTS
E	19.05.21	D.FOR	RAC	EXTERNAL CLADDING UPDATED
F	12.06.21	D.FOR	RAC	CLADDING UPDATED

COORDINATOR PROJECT NUMBER	DATE	TEXT
REVISIONS	DD/MM/YYYY	TEXT
CHECKED	DD/MM/YYYY	TEXT
APPROVED	DD/MM/YYYY	TEXT
PROJECT MANAGER	DD/MM/YYYY	TEXT

 <small>DAVID FORSTNER - DESIGNER</small> <small>SONALI PRASADHAR - ARCHITECT</small>		Scale: 1 : 50	Project: WORKERS ACCOM TYPE 1A
		Scale: 1 : 50	Project: WORKERS ACCOM TYPE 1A
		Drawing Title: ELEVATION 1 & 2	
		Project Manager: [Name]	Revision: F
		Project Number: [Number]	Revision: X



ELEVATION 3
SCALE: 1 : 50



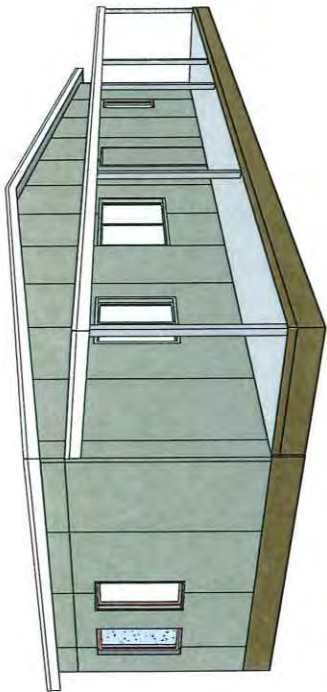
ELEVATION 4
SCALE: 1 : 50

POSTS INDICATIVE ONLY SUBJECT TO SITE & SPAN CHARTS

REV	DATE	BY	APP'D	AMENDMENT
A	20.04.21	D.FOR	RAC	CONCEPT LAYOUT
B	26.04.21	D.FOR	RAC	UPDATED TO COMMENTS
C	07.05.21	D.FOR	RAC	UPDATED TO COMMENTS
D	17.05.21	D.FOR	RAC	EXTERNAL CLADDING UPDATED
E	19.05.21	D.FOR	RAC	CLADDING UPDATED
F	12.06.21	D.FOR	RAC	

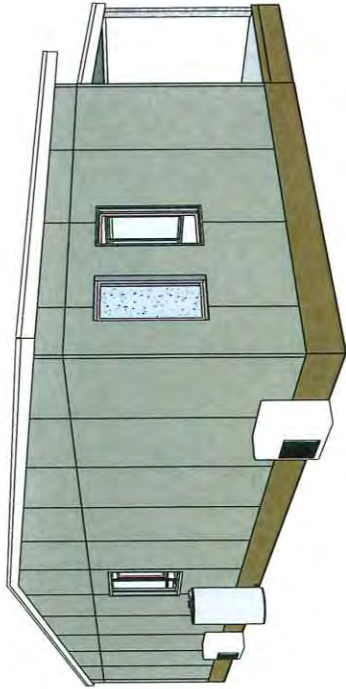
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CHECKED	TEXT	DATE	DD/MM/YYYY
APPROVED	TEXT	DATE	DD/MM/YYYY
PROJECT MANAGER	TEXT	DATE	DD/MM/YYYY

Scale @ A3	1 : 50	Project	WORKERS ACCOM TYPE 1A
UNITA	HORIZONTAL	Drawing Title:	ELEVATION 3 & 4
TEXT	VERTICAL		
RAC PROJECT NUMBER	TEXT	DRAWING No.	X
		REV No.	F



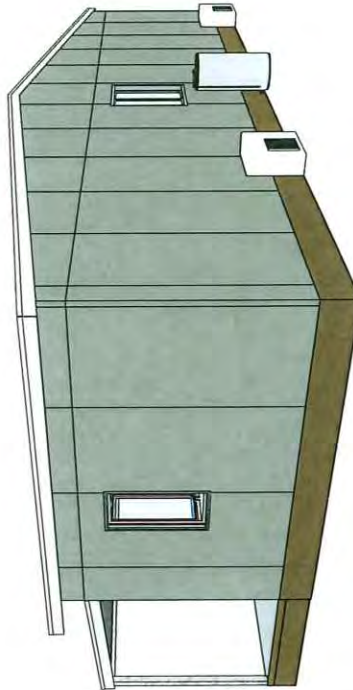
VIEW 1

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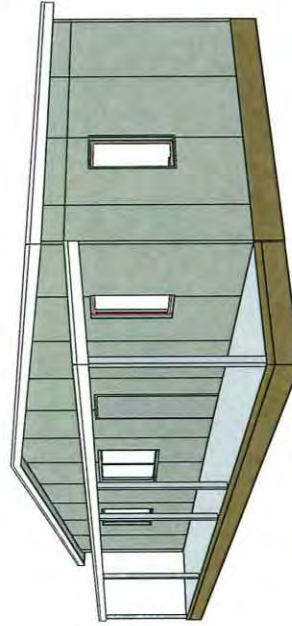
VIEW 2

SCALE:



VIEW 3

SCALE:



VIEW 4

SCALE:

REV	DATE	BY	APP'D	AMENDMENT
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		D.FOR	RAC	UPDATED TO COMMENTS
C	07.05.21	D.FOR	RAC	UPDATED TO COMMENTS
D	17.05.21	D.FOR	RAC	UPDATED TO COMMENTS
E	19.05.21	D.FOR	RAC	EXTERNAL CLADDING UPDATED
F	12.06.21	D.FOR	RAC	CLADDING UPDATED

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CONTRACTOR PROJECT NUMBER	PROJECT MANAGER
TEXT	TEXT
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TEXT	TEXT
TEXT	TEXT


Scale To:	Scale To:
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HORIZONTAL TEXT	HORIZONTAL TEXT
VERTICAL TEXT	VERTICAL TEXT
RAC PROJECT NUMBER	RAC PROJECT NUMBER
TEXT	TEXT

Project:	Drawing Title:
WORKERS ACCOM TYPE 1A	3D VIEWS

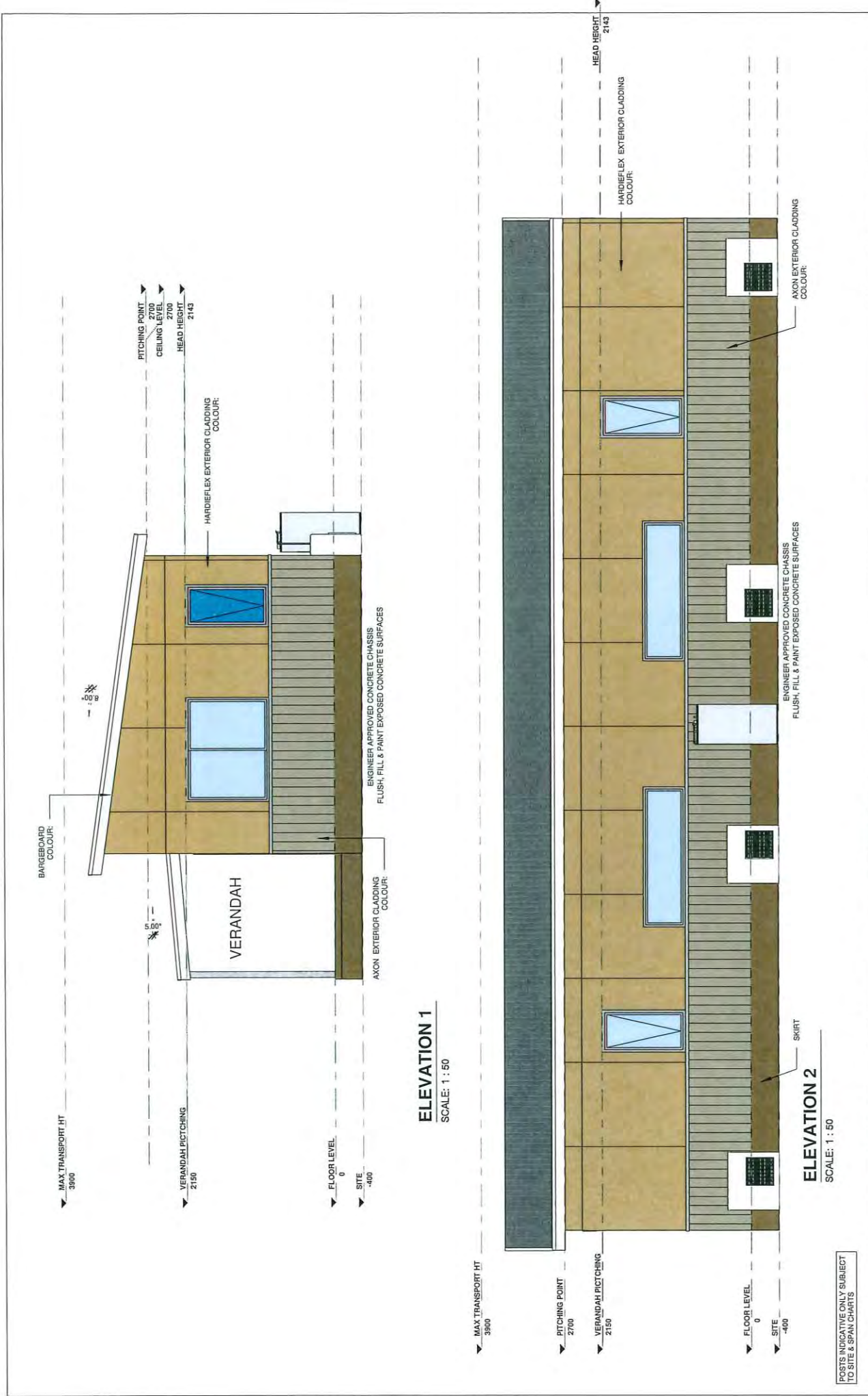
DRAWING No.	REV No.
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RAC
Parks & Resorts
For the water



D4 DESIGN & DRAFTING
DRAFTING
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POSTS INDICATIVE ONLY SUBJECT TO SITE & SPAN CHARTS

REV	DATE	BY	APP'D	AMENDMENT
A	20.04.21	D.FOR	RAC	CONCEPT FLOOR LAYOUT
B	26.04.21	D.FOR	RAC	UPDATED TO COMMENTS
C	07.05.21	D.FOR	RAC	UPDATED TO COMMENTS
D	18.05.21	D.FOR	RAC	EXTERNAL CLADDING UPDATED
E	19.05.21	D.FOR	RAC	CLADDING UPDATED
F	12.06.21	D.FOR	RAC	



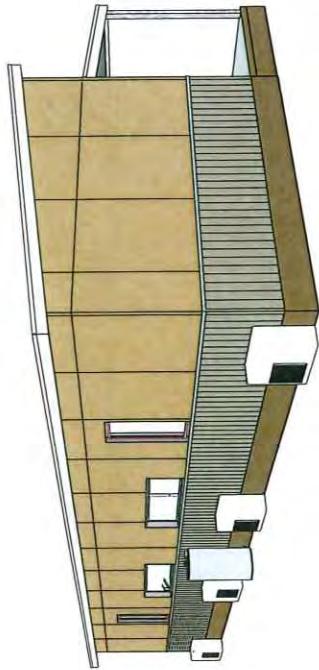
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REVISION	DATE	DESCRIPTION
REVISION	DATE	DESCRIPTION
REVISION	DATE	DESCRIPTION
REVISION	DATE	DESCRIPTION

RAC
Parks & Resorts
For the better

Scale up to:	1 : 50
Orientation:	HORIZONTAL
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Project:	WORKERS ACCOM TYPE 2A
Drawing Title:	ELEVATION 1 & 2
Drawing No.:	X
Rev No.:	F



VIEW 1
SCALE:



VIEW 2
SCALE:





VIEW 3
SCALE:

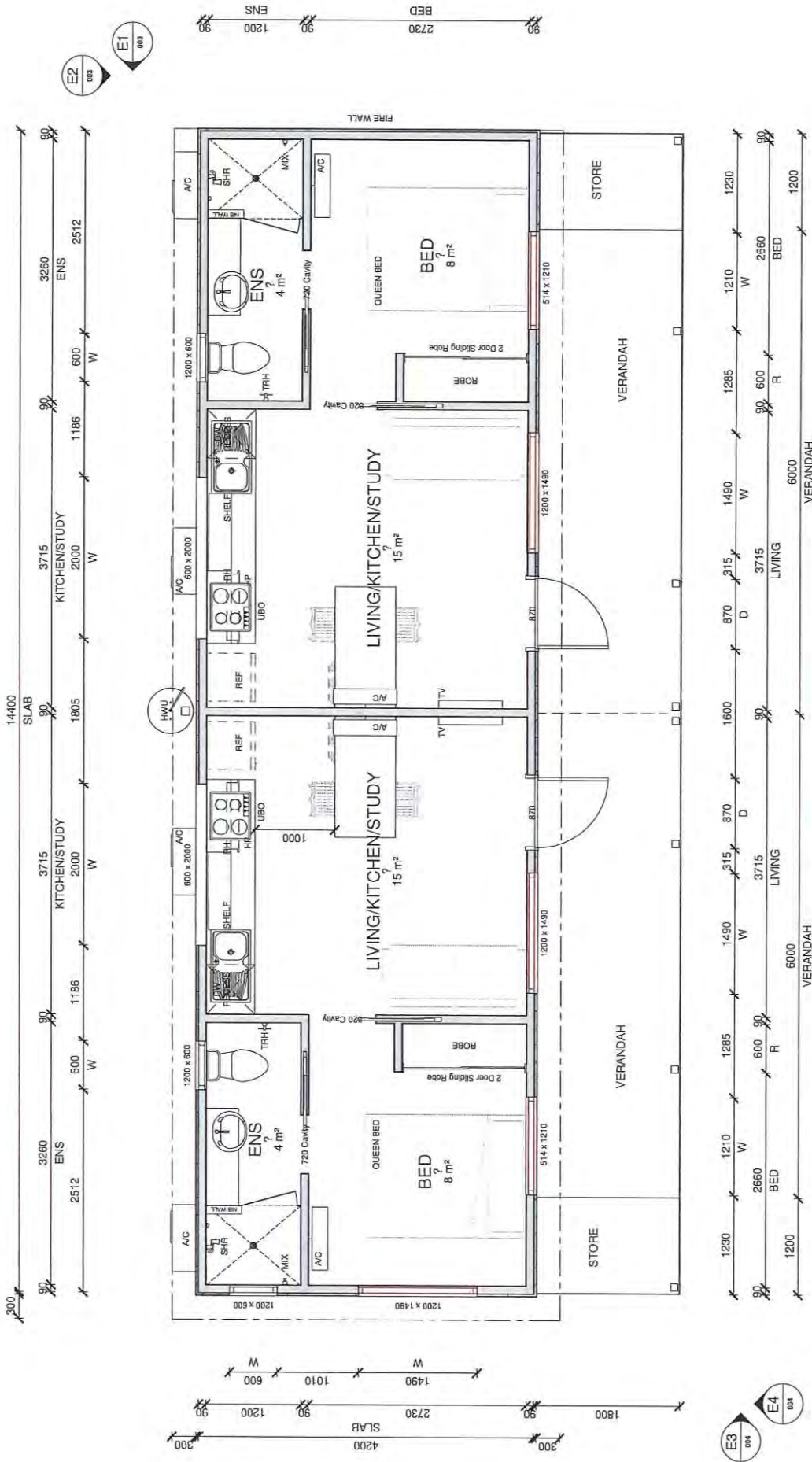


VIEW 4
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B	26.04.21	D.FOR	RAC	UPDATED TO COMMENTS
C	07.05.21	D.FOR	RAC	UPDATED TO COMMENTS
D	16.05.21	D.FOR	RAC	UPDATED TO COMMENTS
E	19.05.21	D.FOR	RAC	EXTERNAL CLADDING UPDATED
F	12.06.21	D.FOR	RAC	CLADDING UPDATED

CONVEYANCE PROJECT NUMBER	TEXT	DATE
DESIGNED	TEXT	DD/MM/YYYY
DRAWN	TEXT	DD/MM/YYYY
CHECKED	TEXT	DD/MM/YYYY
APPROVED	TEXT	DD/MM/YYYY
PROJECT MANAGER	TEXT	DD/MM/YYYY

			Project: WORKERS ACCOM TYPE 2A
			Drawing Title: 3D VIEWS
Scale 1/50	Scale 1/50	Scale 1/50	Scale 1/50
DATE	HORIZONTAL TEXT	VERTICAL TEXT	PROJECT MANAGER TEXT
			DRAWING No. X
			REV: F



REV	DATE	BY	APP'D	AMENDMENT
A	20.04.21	D.FOR	RAC	CONCEPT FLOOR LAYOUT
B	26.04.21	D.FOR	RAC	UPDATED TO COMMENTS
C	07.05.21	D.FOR	RAC	UPDATED TO COMMENTS
D	18.05.21	D.FOR	RAC	UPDATED TO COMMENTS
E	19.05.21	D.FOR	RAC	EXTERNAL CLADDIGN UPDATED
F	12.06.21	D.FOR	RAC	CLADDIGN UPDATED

DESIGNED	DATE	TEXT
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DOMMYYYY	DOMMYYYY	TEXT

PROJECT MANAGER	DATE	TEXT
DOMMYYYY	DOMMYYYY	TEXT

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ELEVATION 3
SCALE: 1 : 50



ELEVATION 4
SCALE: 1 : 50

POSTS INDICATIVE ONLY SUBJECT TO SITE & SPAN CHARTS

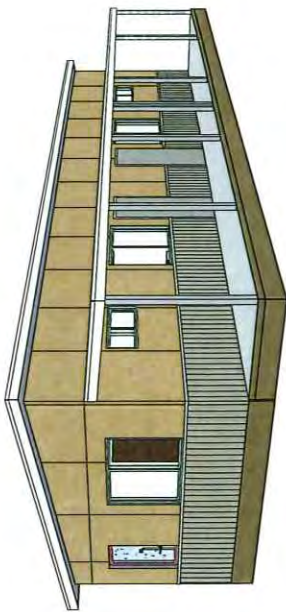
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A	20.04.21	D.FOR	RAC	CONCEPT FLOOR LAYOUT
B	26.04.21	D.FOR	RAC	UPDATED TO COMMENTS
C	07.05.21	D.FOR	RAC	UPDATED TO COMMENTS
D	18.05.21	D.FOR	RAC	UPDATED TO COMMENTS
E	19.05.21	D.FOR	RAC	EXTERNAL CLADDIGN UPDATED
F	12.06.21	D.FOR	RAC	CLADDING UPDATED

DAVID FORBES CONSULTING ARCHITECTS
D4 DESIGN & DRAFTING

COORDINATES PROJECT NUMBER	TEXT	DATE
DESIGNED	TEXT	DD/MM/YYYY
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APPROVED	TEXT	DD/MM/YYYY
PROJECT MANAGER	TEXT	DD/MM/YYYY

RAC Parks & Resorts
For the better

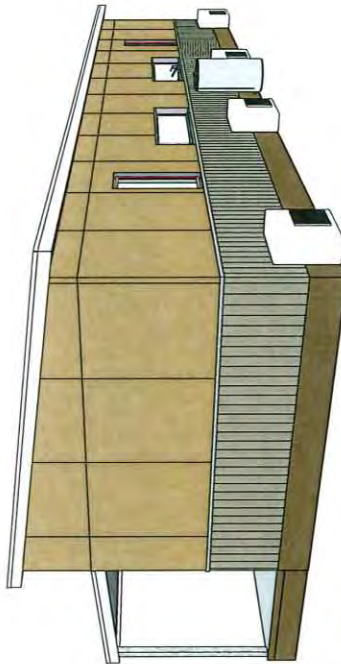
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DATE	Drawing Title:	
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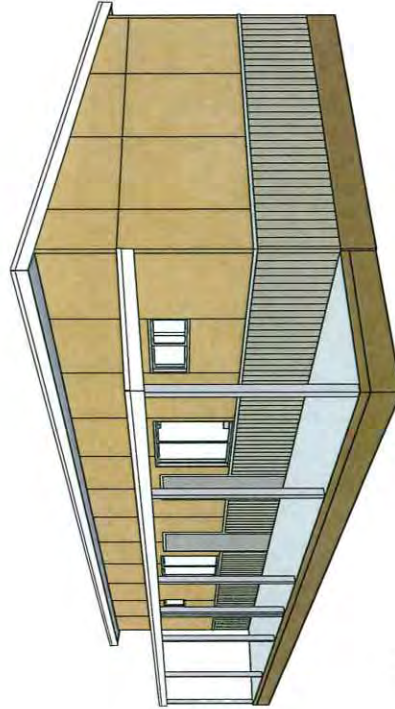
VIEW 1
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VIEW 2
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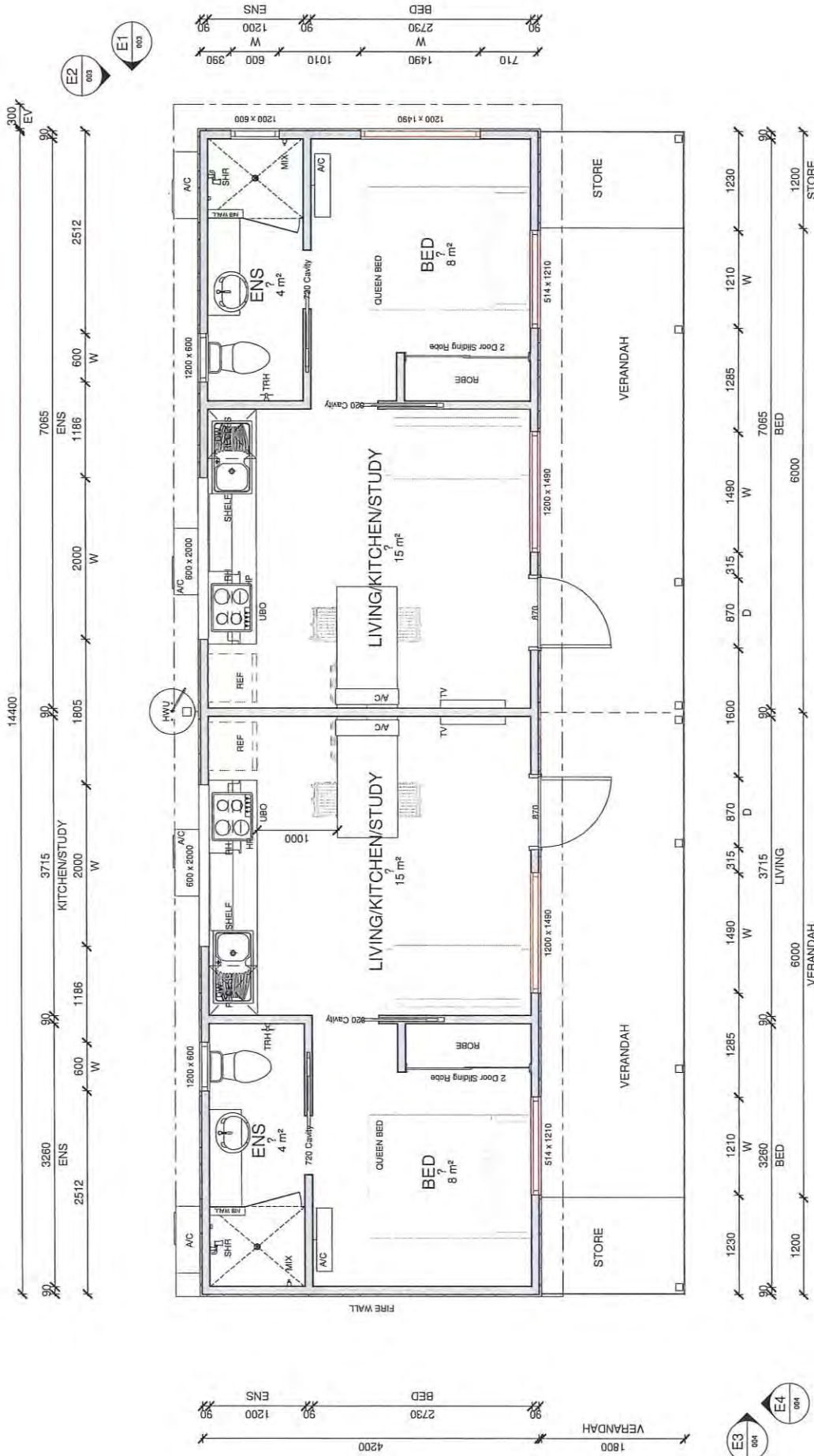
VIEW 3
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VIEW 4
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REV	DATE	BY	APP'D	AMENDMENT	DESCRIPTION	DATE	DATE	DATE	DATE
A	20.04.21	D.FOR	RAC	CONCEPT FLOOR LAYOUT	DESIGNED	DATE	DD/MM/YYYY	TEXT	
B	26.04.21	D.FOR	RAC	UPDATED TO COMMENTS	TEXT	DATE	DD/MM/YYYY	TEXT	
C	07.05.21	D.FOR	RAC	UPDATED TO COMMENTS	DESIGNED	DATE	DD/MM/YYYY	TEXT	
D	18.05.21	D.FOR	RAC	UPDATED TO COMMENTS	TEXT	DATE	DD/MM/YYYY	TEXT	
E	19.05.21	D.FOR	RAC	EXTERNAL CLADDIGN UPDATED	APPROVED	DATE	DD/MM/YYYY	TEXT	
F	12.06.21	D.FOR	RAC	CLADDING UPDATED	PROJECT-MANAGER	DATE	DD/MM/YYYY	TEXT	

			
PROJECT: WORKERS ACCOM TYPE 2B Drawing Title: 3D VIEWS		DATE: 12.06.21 PROJECT-MANAGER: X DRAWING No.: F	



REV	DATE	BY	APP'D	AMENDMENT
A	20.04.21	D.FOR	RAC	CONCEPT FLOOR LAYOUT
B	26.04.21	D.FOR	RAC	UPDATED TO COMMENTS
C	07.05.21	D.FOR	RAC	UPDATED TO COMMENTS
D	18.05.21	D.FOR	RAC	UPDATED TO COMMENTS
E	19.05.21	D.FOR	RAC	EXTERNAL CLADDING UPDATE

REVISION	DATE	BY	APP'D	DESCRIPTION

DATE	PROJECT NUMBER	TEXT
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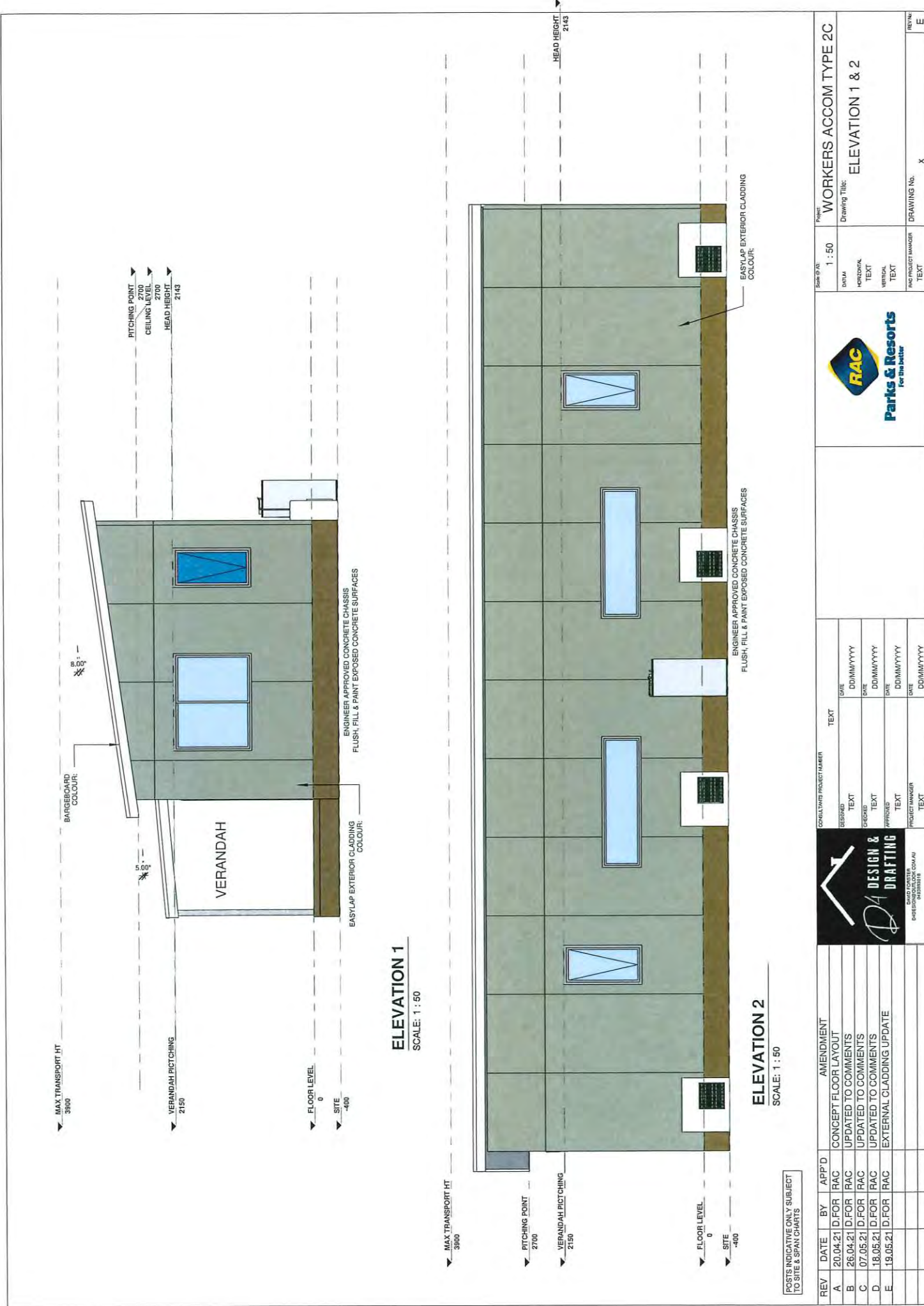
DATE	PROJECT NUMBER	TEXT
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POSTS INDICATIVE ONLY SUBJECT TO SITE & SPAN CHARTS

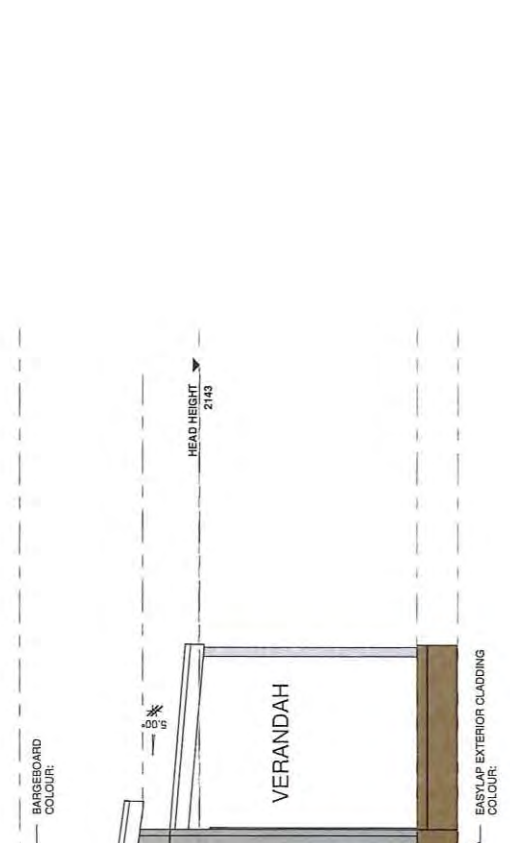
REV	DATE	BY	APP'D	AMENDMENT
A	20.04.21	D.FOR	RAC	CONCEPT FLOOR LAYOUT
B	26.04.21	D.FOR	RAC	UPDATED TO COMMENTS
C	07.05.21	D.FOR	RAC	UPDATED TO COMMENTS
D	18.05.21	D.FOR	RAC	UPDATED TO COMMENTS
E	19.05.21	D.FOR	RAC	EXTERNAL CLADDING UPDATE

CONSULTANT PROJECT NUMBER	TEXT	DATE
DESIGNED	TEXT	DD/MM/YYYY
CHECKED	TEXT	DD/MM/YYYY
APPROVED	TEXT	DD/MM/YYYY
PROJECT MANAGER	TEXT	DD/MM/YYYY

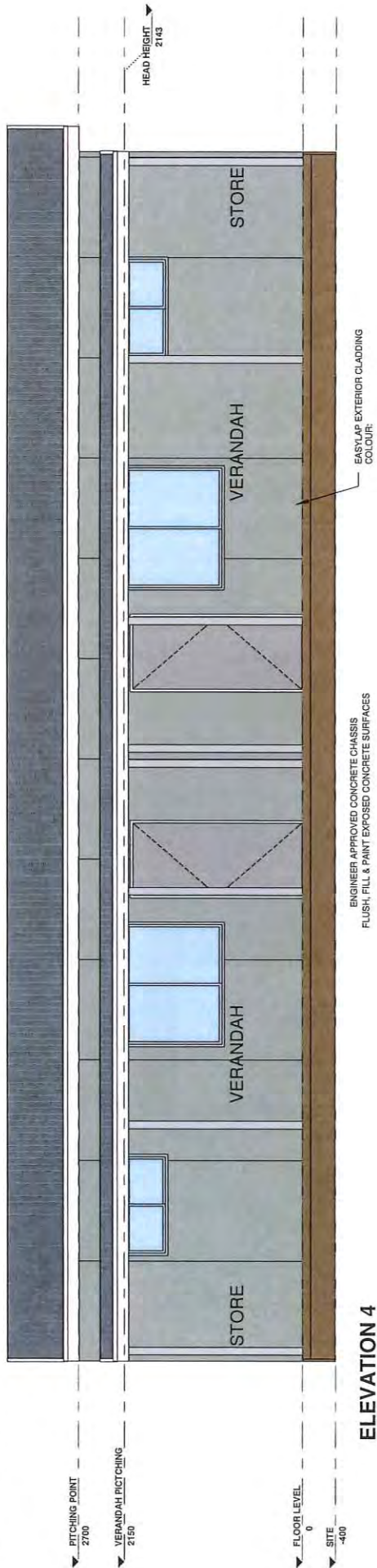
Scale 1:50	Scale 1:50	Scale 1:50
DATE/PL	DATE/PL	DATE/PL
HORIZONTAL TEXT	HORIZONTAL TEXT	HORIZONTAL TEXT
VERTICAL TEXT	VERTICAL TEXT	VERTICAL TEXT
PROJECT MANAGER	PROJECT MANAGER	PROJECT MANAGER
TEXT	TEXT	TEXT

Project	WORKERS ACCOM TYPE 2C
Drawing Title:	ELEVATION 1 & 2
RAC PROJECT MANAGER	TEXT
DRAWING No.	X
REV No.	E





ELEVATION 3
SCALE: 1 : 50



ELEVATION 4
SCALE: 1 : 50

POSTS INDICATIVE ONLY SUBJECT TO SITE & SPAN CHARTS

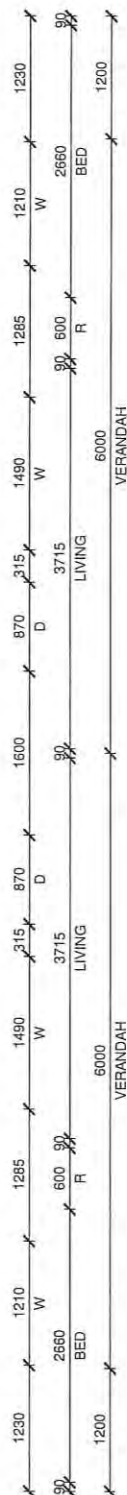
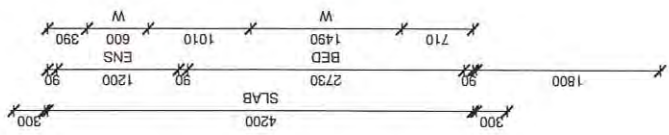
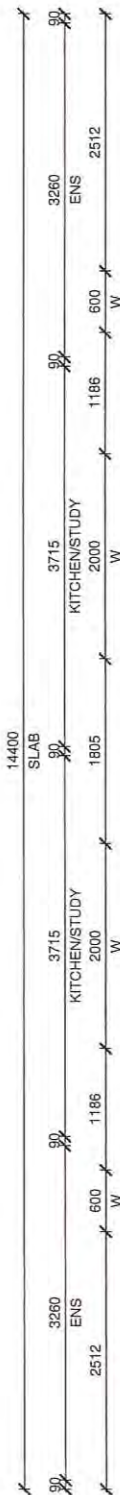
REV	DATE	BY	APP'D	AMENDMENT
A	20.04.21	D.FOR	RAC	CONCEPT FLOOR LAYOUT
B	26.04.21	D.FOR	RAC	UPDATED TO COMMENTS
C	07.05.21	D.FOR	RAC	UPDATED TO COMMENTS
D	18.05.21	D.FOR	RAC	UPDATED TO COMMENTS
E	19.05.21	D.FOR	RAC	EXTERNAL CLADDING UPDATE



RECORD	TEXT	DATE
DESIGNED	TEXT	DD/MM/YYYY
CHECKED	TEXT	DD/MM/YYYY
APPROVED	TEXT	DD/MM/YYYY
PROJECT MANAGER	TEXT	DD/MM/YYYY

GOVERNMENTS PROJECT NUMBER

Scale: 1 : 50	Project: WORKERS ACCOM TYPE 2C
DRAWN: HORIZONTAL	Drawing Title: ELEVATION 3 & 4
CHECKED: TEXT	
APPROVED: TEXT	
PROJECT MANAGER: TEXT	DRAWING No. X
	REV: E



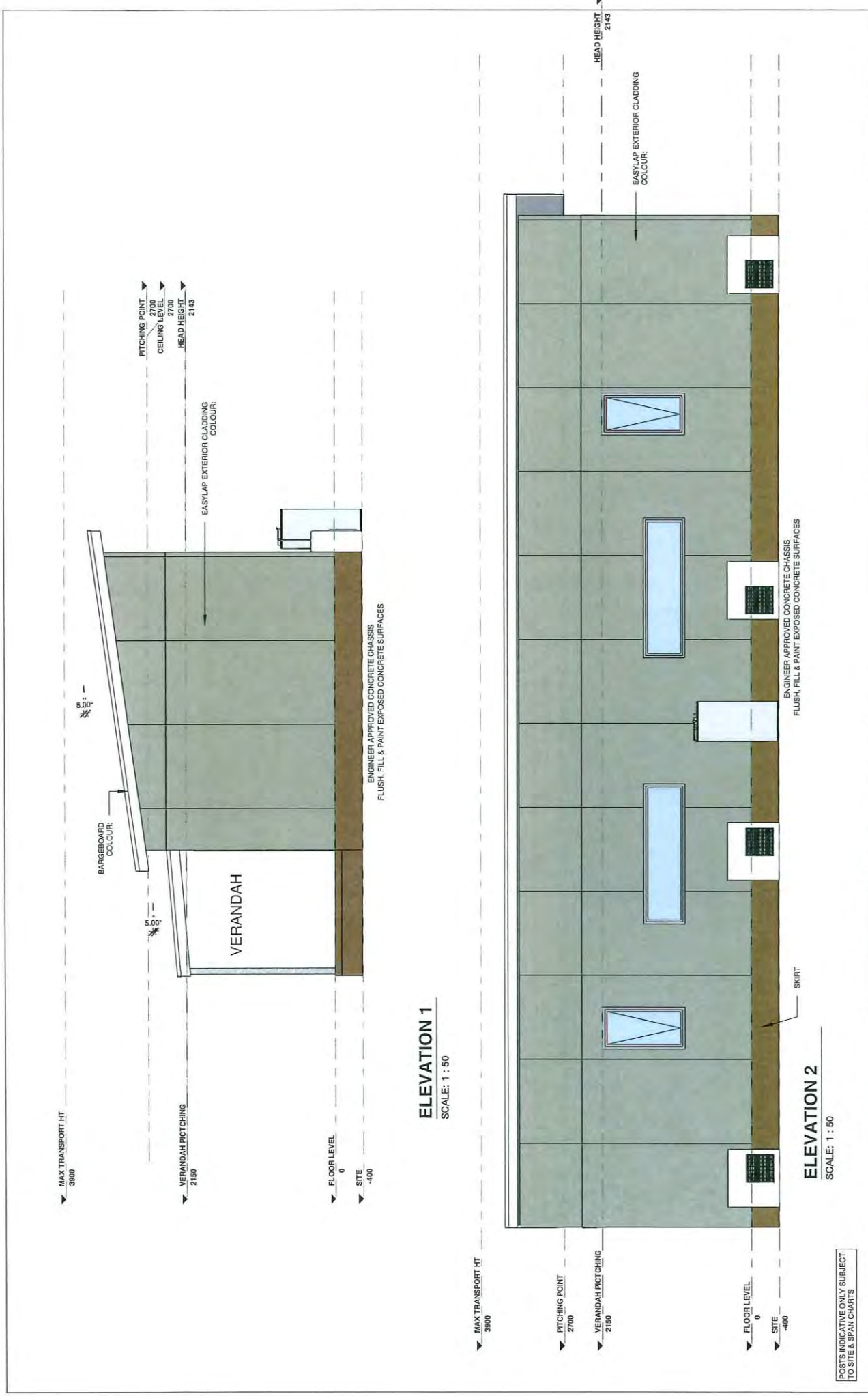
REV	DATE	BY	APP'D	AMENDMENT
A	20.04.21	D.FOR	RAC	CONCEPT FLOOR LAYOUT
B	26.04.21	D.FOR	RAC	UPDATED TO COMMENTS
C	07.05.21	D.FOR	RAC	UPDATED TO COMMENTS
D	16.05.21	D.FOR	RAC	UPDATED TO COMMENTS
E	19.05.21	D.FOR	RAC	EXTERNAL CLADDING UPDATED
F	12.06.21	D.FOR	RAC	CLADDING UPDATED



RECORD	TEXT	DATE
TEXT	TEXT	DD/MM/YYYY
TEXT	TEXT	DD/MM/YYYY
TEXT	TEXT	DD/MM/YYYY
TEXT	TEXT	DD/MM/YYYY



Scale: 1 : 50	Project: WORKERS ACCOM TYPE 2D
Author: [Name]	Drawing Title: FLOOR PLAN
Vertical: [Name]	
Horizontal: [Name]	
RAC Project Manager: [Name]	Drawing No. X
Text: [Name]	Rev: F



POSTS INDICATIVE ONLY SUBJECT TO SITE & SPAN DETAILS

REV	DATE	BY	APP'D	AMENDMENT
A	20.04.21	D.FOR	RAC	CONCEPT FLOOR LAYOUT
B	26.04.21	D.FOR	RAC	UPDATED TO COMMENTS
C	07.05.21	D.FOR	RAC	UPDATED TO COMMENTS
D	18.05.21	D.FOR	RAC	UPDATED TO COMMENTS
E	19.05.21	D.FOR	RAC	EXTERNAL CLADDING UPDATED
F	12.06.21	D.FOR	RAC	CLADDING UPDATED

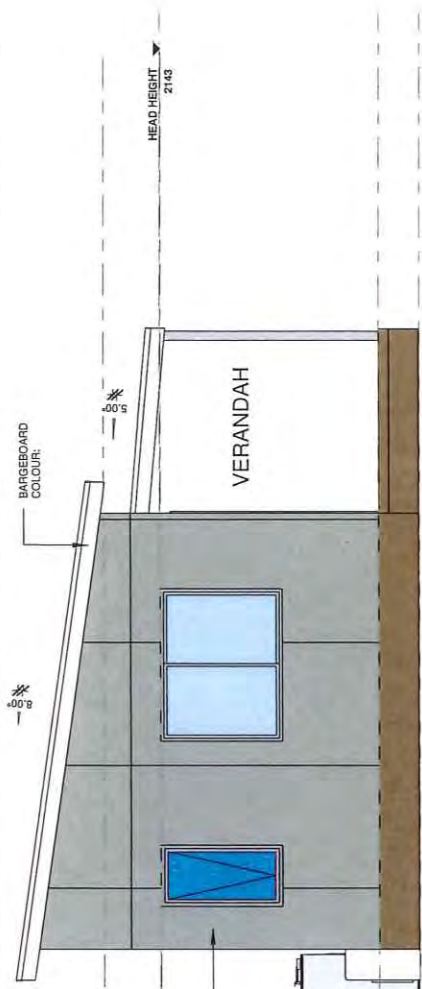


DESIGNED	CHECKED	APPROVED	PROJECT MANAGER
TEXT	TEXT	TEXT	TEXT
DATE	DATE	DATE	DATE
DD/MM/YYYY	DD/MM/YYYY	DD/MM/YYYY	DD/MM/YYYY

RAC
Parks & Resorts
For the better

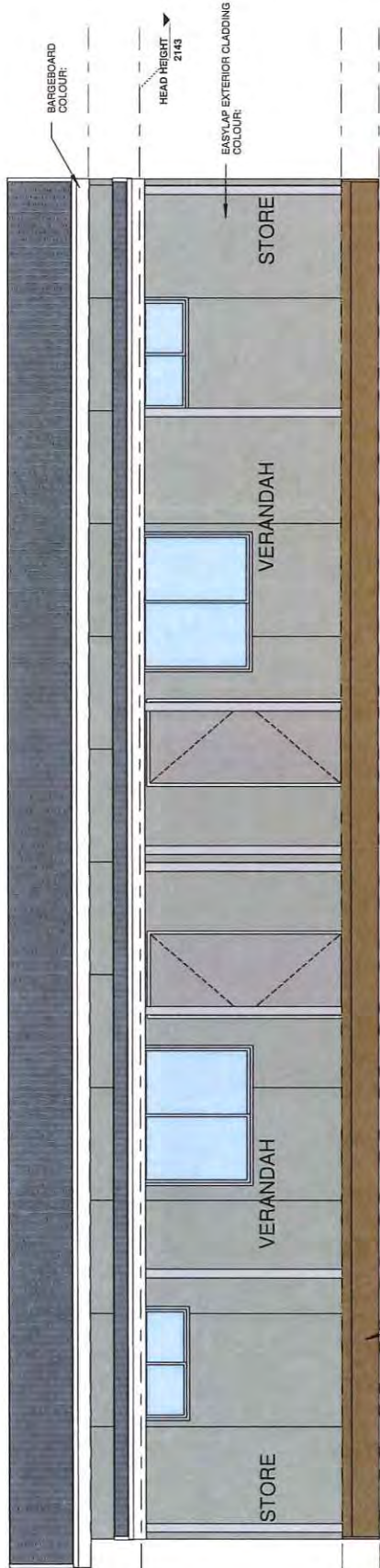
Scale (if A1)	1 : 50	Project	WORKERS ACCOM TYPE 2D
Orientation	HORIZONTAL TEXT	Drawing Title	ELEVATION 1 & 2
Vertical	VERTICAL TEXT		
RAC PROJECT NUMBER		DRAWING No.	X
TEXT		REV/NO	F

MAX TRANSPORT HT 3800
 PITCHING POINT 2700
 VERANDAH PITCHING 2150
 EASY LAP EXTERIOR CLADDING COLOUR:
 FLOOR LEVEL 0
 SITE -400



ELEVATION 3
 SCALE: 1 : 50
 ENGINEER APPROVED CONCRETE CHASSIS
 FLUSH, FILL & PAINT EXPOSED CONCRETE SURFACES

MAX TRANSPORT HT 3800
 PITCHING POINT 2700
 VERANDAH PITCHING 2150
 FLOOR LEVEL 0
 SITE -400



ELEVATION 4
 SCALE: 1 : 50
 ENGINEER APPROVED CONCRETE CHASSIS
 FLUSH, FILL & PAINT EXPOSED CONCRETE SURFACES

POSTS INDICATIVE ONLY SUBJECT TO SITE & SPAN CHARTS

REV	DATE	BY	APP'D	AMENDMENT
A	20.04.21	D.FOR	RAC	CONCEPT FLOOR LAYOUT
B	26.04.21	D.FOR	RAC	UPDATED TO COMMENTS
C	07.05.21	D.FOR	RAC	UPDATED TO COMMENTS
D	18.05.21	D.FOR	RAC	UPDATED TO COMMENTS
E	19.05.21	D.FOR	RAC	EXTERNAL CLADDING UPDATED
F	12.06.21	D.FOR	RAC	CLADDING UPDATED

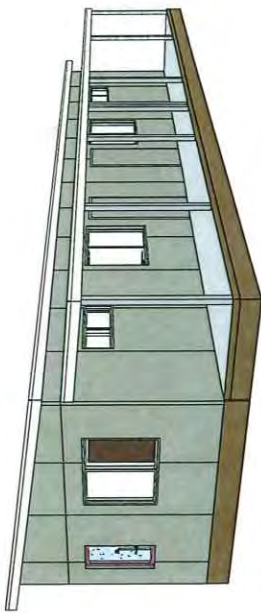


DESIGNED	CHECKED	APPROVED	PROJECT NUMBER	DATE
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COMMENTS/PROJECT NUMBER	TEXT	DATE
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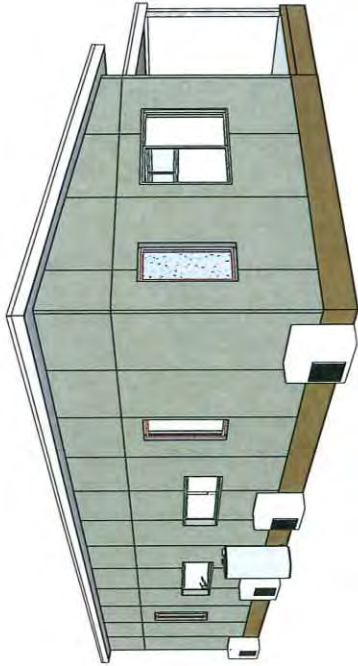


Scale @ 30'	1 : 50	Project	WORKERS ACCOM TYPE 2D
DATE		Drawing Title:	ELEVATION 3 & 4
HORIZONTAL TEXT			
VERTICAL TEXT			
PROJECT NUMBER		DRAWING No.	X
TEXT		REV:	F



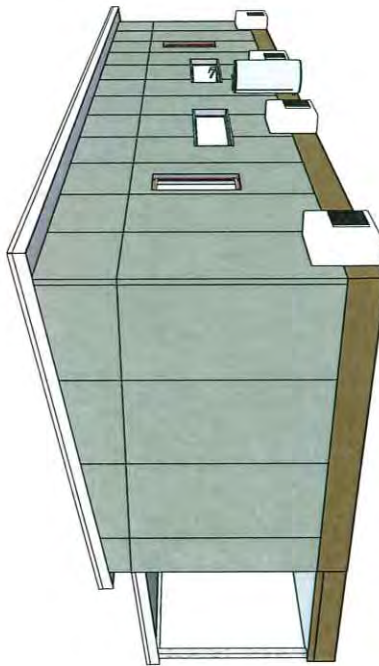
VIEW 1

SCALE:



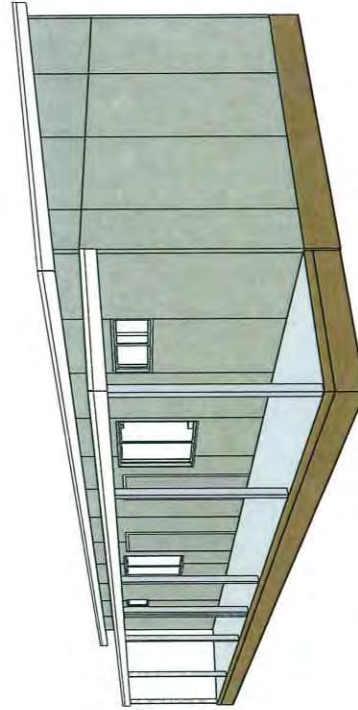
VIEW 2

SCALE:



VIEW 3

SCALE:



VIEW 4

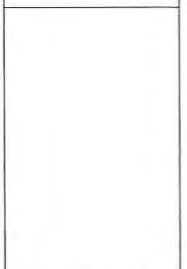
SCALE:

REV	DATE	BY	APP'D	AMENDMENT
A	20.04.21	D.FOR	RAC	CONCEPT FLOOR LAYOUT
B	26.04.21	D.FOR	RAC	UPDATED TO COMMENTS
C	07.05.21	D.FOR	RAC	UPDATED TO COMMENTS
D	18.05.21	D.FOR	RAC	UPDATED TO COMMENTS
E	19.05.21	D.FOR	RAC	EXTERNAL CLADDING UPDATED
F	12.06.21	D.FOR	RAC	CLADDING UPDATED



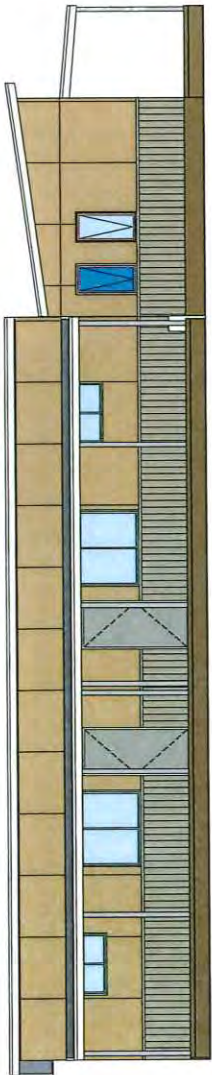
DESIGNED	CHECKED	DATE	PROJECT NUMBER
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DATE	DATE	DATE	DATE
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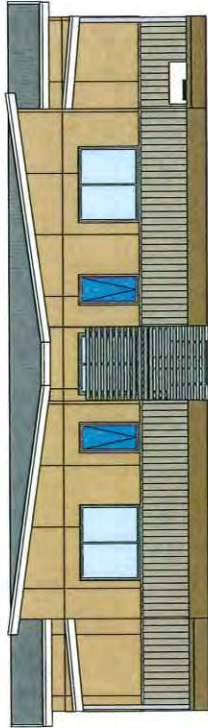


DATA	NO PROJECT NUMBER	DRAWING No.	REV/NO.
HORIZONTAL TEXT	TEXT	X	F
VERTICAL TEXT	TEXT		

Project	Drawing Title:
WORKERS ACCOM TYPE 2D	3D VIEWS



ELEVATION 1
SCALE: 1 : 100



ELEVATION 2
SCALE: 1 : 100



ELEVATION 3
SCALE: 1 : 100



ELEVATION 4
SCALE: 1 : 100

POSTS INDICATIVE ONLY SUBJECT TO SITE & SPAN CHARTS

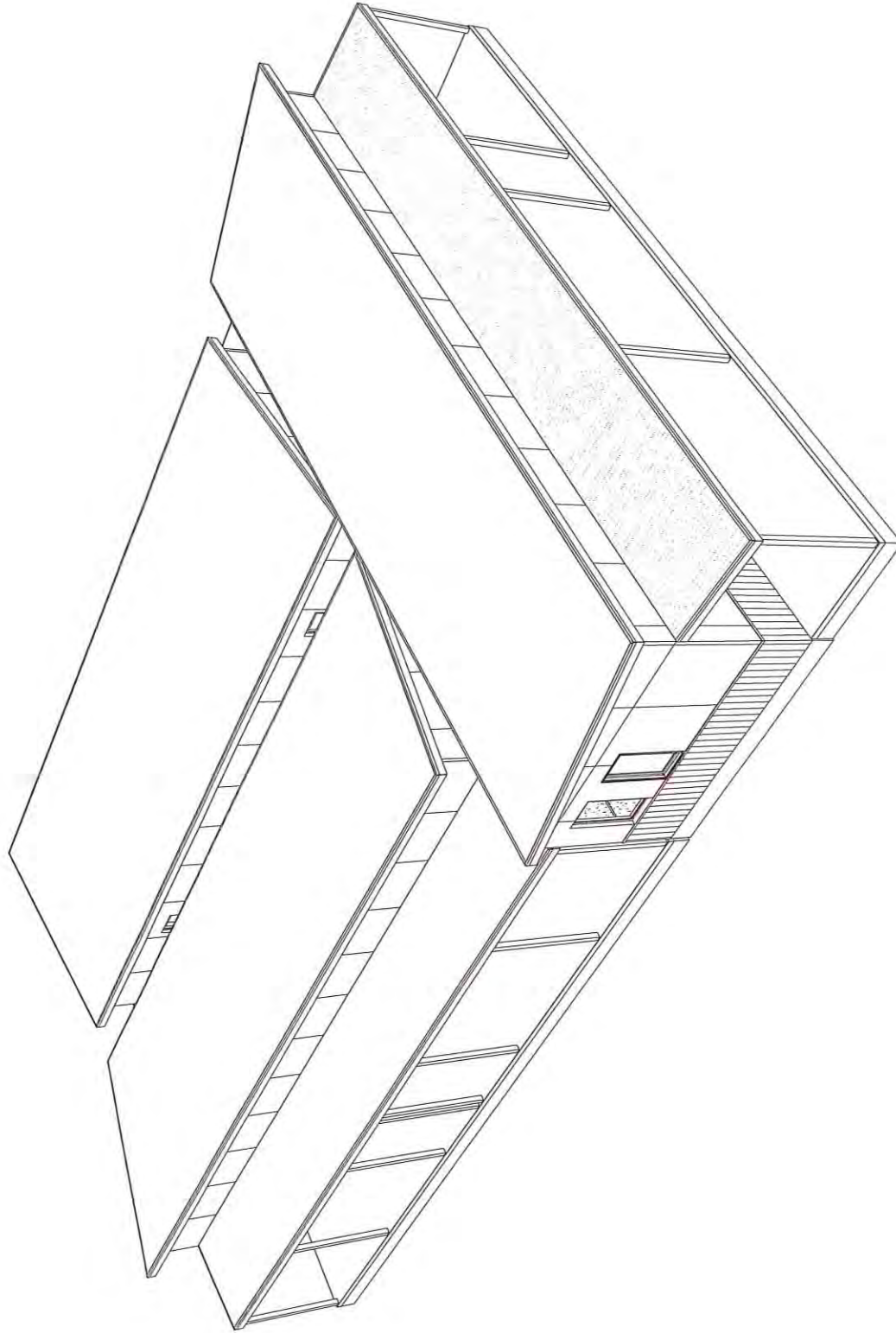
REV	DATE	BY	APP'D	AMENDMENT
A	24.05.21	D.FOR	RAC	DRAFT CONCEPT T BUILDINGS
B	12.06.21	D.FOR	RAC	CLADDING UPDATED, SLATTED GATE ADDED

D4 DESIGN & DRAFTING
 10/150 WILSON STREET
 SUITE 101
 4810 SPRINGWOOD DRIVE, DONALD
 VIC 3008
 PH: 08 8390 1000
 WWW.D4DESIGN.COM.AU

CONSENT/ISSUE PROJECT NUMBER	TEXT	DATE
DESIGNED	TEXT	DD/MM/YYYY
DRAWN	TEXT	DD/MM/YYYY
CHECKED	TEXT	DD/MM/YYYY
APPROVED	TEXT	DD/MM/YYYY
PROJECT MANAGER	TEXT	DD/MM/YYYY

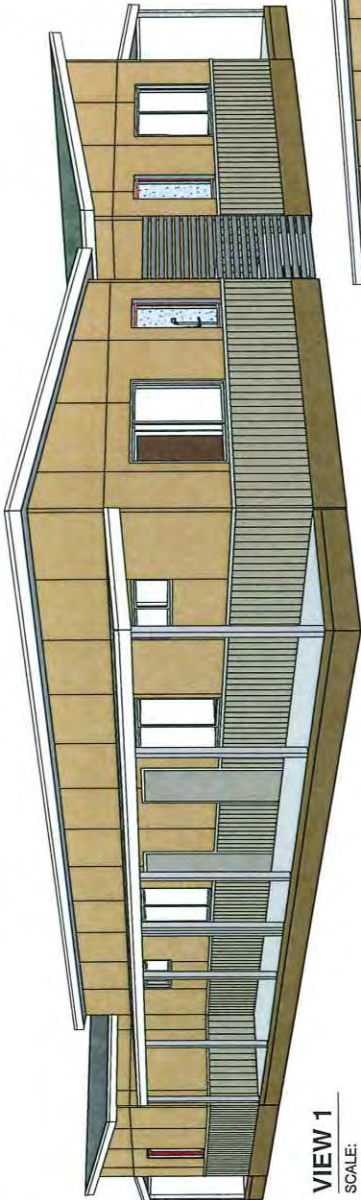
RAC
Parks & Resorts
 For the better

Scale @ A1	1 : 100	Project	T BUILDING 1
DRAWING TITLE	ELEVATIONS		
NO PROJECT MANAGER	TEXT	DRAWING No.	X
REV			B



REV	DATE	BY	APP'D	AMENDMENT	CONTRACTING PROJECT NUMBER		TEXT		DATE		DRAWING No.		REV
A	24.05.21	D.FOR	RAC	DRAFT CONCEPT T BUILDINGS	DESIGNED	TEXT				DD/MM/YYYY	T BUILDING 1		
B	12.06.21	D.FOR	RAC	CLADDING UPDATED, SLATTED GATE ADDED	CHECKED	TEXT				DD/MM/YYYY	Drawing Title: ROOF LINE		
					APPROVED	TEXT				DD/MM/YYYY	PROJECT NUMBER		X
					PROJECT NUMBER	TEXT				DD/MM/YYYY	DRAWING No.		B

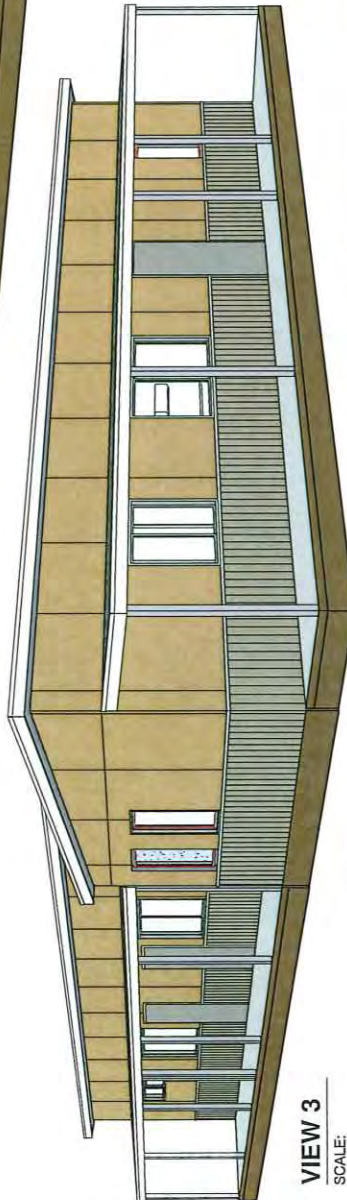




VIEW 1
SCALE:



VIEW 2
SCALE:





VIEW 3
SCALE:

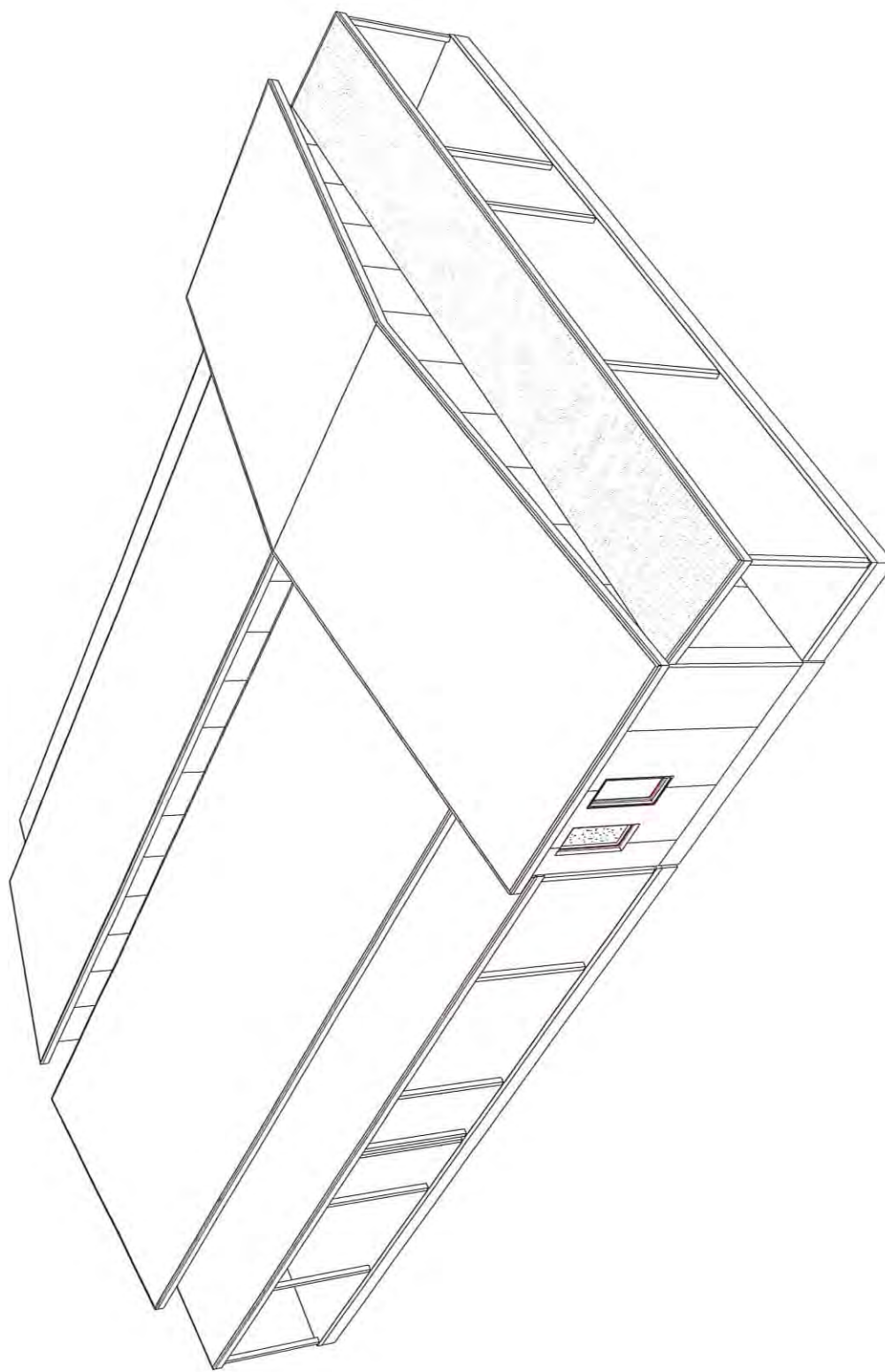




VIEW 4
SCALE:

REV	DATE	BY	APP'D	AMENDMENT	CONTRACT/ISSUE PROJECT NUMBER		TEXT	
A	24.05.21	D.FOR	RAC	DRAFT CONCEPT T BUILDINGS	DESIGNED	TEXT	DATE	DD/MM/YYYY
B	12.08.21	D.FOR	RAC	CLADDING UPDATED, SLATTED GATE ADDED	CHECKED	TEXT	DATE	DD/MM/YYYY
					APPROVED	TEXT	DATE	DD/MM/YYYY
					PROJECT MANAGER	TEXT	DATE	DD/MM/YYYY

Scale (1/4)	Project	Scale
DATE	T BUILDING 1	3D VIEWS
HORIZONTAL TEXT	Drawing Title:	
VERTICAL TEXT		
PROJECT MANAGER TEXT	DRAWING No.	X
		B



REV	DATE	BY	APP'D	AMENDMENT	 <small>DAVID FORSTER DIRECTOR/OWNER/CLIENT/ARCHITECT</small>	<small>CONCEPTS PROJECT NUMBER</small> TEXT <small>DESIGNED</small> TEXT <small>CHECKED</small> TEXT <small>APPROVED</small> TEXT <small>PROJECT NUMBER</small> TEXT	<small>DATE</small> DD/MM/YYYY <small>DATE</small> DD/MM/YYYY <small>DATE</small> DD/MM/YYYY <small>DATE</small> DD/MM/YYYY	<small>TEXT</small> TEXT TEXT TEXT TEXT	 Parks & Resorts <small>For the better</small>	<small>Scale (if 0)</small> DIMA HORIZONTAL TEXT DIMA VERTICAL TEXT DIMA PROJECT NUMBER TEXT	Project T BUILDING 2 Drawing Title: ROOF LINE	REV/NO B
A	24.05.21	D.FOR	RAC	DRAFT CONCEPT T BUILDINGS								
B	12.06.21	D.FOR	RAC	CLADDING UPDATED, SLATTED GATE ADDED								

RFT03/2020 – BLOWHOLES TOURISM DEVELOPMENT WORKS

PROJECT STATUS SUMMARY

ITEM NO	TASK	% COMPLETE	COMPLETION DATE	COMMENTS
	<u>Error! Reference source not found.</u>			
A.	RECONSTRUCT SITE 1 CARPARK PAVEMENT	100%	9 April 2021	Kerbing not completed. Deleted kerbing as not considered essential element and due to concerns with wave inundation/drainage.
B.	CARPARK - CONSTRUCT 32MPA FULL DEPTH COLOUR FIBRE REINFORCED CONCRETE DISABLED PARKING BAYS INCLUDING LINK TO WALKWAY	100%	9 April 2021	Nil - complete
C.	Error! Reference source not found.	100%	18 March 2021	Destroyed in July 2021 swell event. Replace with interpretive platform only.
D.	Error! Reference source not found.	100%	18 March 2021	Will incorporate with interpretive platform
E.	Error! Reference source not found.	100%	18 March 2021	Destroyed in July 2021 swell event. Not to be replaced.
F.	Error! Reference source not found.	15%	IN PROGRESS	Content development at final draft stage. To be completed and incorporated into the interpretive platform.

ITEM NO	TASK	% COMPLETE	COMPLETION DATE	COMMENTS
	<u>Error! Reference source not found.</u>			
A.	RECONSTRUCT SITE 2 CARPARK PAVEMENT	100%	9 April 2020	Kerbing not completed. Kerbing deleted as not considered essential element.
B.	Error! Reference source not found.	100%	9 April 2021	Nil - Complete
C.	Error! Reference source not found.	0%		Deleted. Design process recognised that a large structural feature at this site was not in keeping with low visual impact design criteria.
D.	Error! Reference source not found.	100%	18 March 2021	Nil - Complete
E.	Error! Reference source not found.	15%	IN PROGRESS	Content development at final draft stage. To be completed and incorporated into the interpretive platform.

ITEM NO	TASK	% COMPLETE	COMPLETION DATE	COMMENTS
	<u>Error! Reference source not found.</u>			
A.	RECONSTRUCT SITE 3 CARPARK PAVEMENT	100%	9 April 2021	Nil - Complete
B.	Error! Reference source not found.	100%	9 April 2021	Nil - Complete
C.	Error! Reference source not found.	100%	9 April 2021	Contract variation completed to remove dilapidated existing beach structures and relocate existing quality beach structure further to the south.
D.	Error! Reference source not found.	100%	9 April 2021	Remediation of existing toilet facility completed as variation under contract to ensure the entire ablution facility had a consistent quality.

Blowholes Tourism Precinct Redevelopment**Project Completion Plan****Contract Works – RFT 03/2020**

Funded through existing DPIRD funding agreement.

Balance of Project Funds: \$116,991.43

Site	Site Works	Estimated Cost	Estimated Completion	Comment
Site 1	Interpretive Platform	\$61,000	June 2022	By existing contractor
Site 1 and 2	Interpretive Signage	\$55,000	June 2022	By existing contractor
Total		\$116,000		

Shire of Carnarvon Funded Works

Funded through insurance funds received from destruction of walkway.

Balance of Insurance Funds: \$198,475

Site	Site Works	Estimated Cost/Allocation	Comment
Site 2	Upgrade/replace existing steel stairs with suitable high corrosion resistant equivalent	\$65,000	Cost is based on previous quotation received with 35% escalation.
Between Site 2 and 3	Erosion control works on beach area between the two sites.	\$50,000	Leverage funds toward funding application under CoastWA grants. Potential to leverage total project budget of \$110,000.
Site 3	Repair and refurbishment of three existing beach shelters	\$25,000	Existing beach shelters require timber beams to be re painted and have stainless roof sheeting installed.
Site 2	Contribution to GDC Indigenous recognition project as project partner.	\$33,475	Project likely to consist of a shelter with indigenous interpretive features.
All Sites	Project Contingency	\$25,000	May be utilized on any element.
Total		\$198,475	

PROPOSED AMENDMENTS TO SHIRE OF CARNARVON'S FEES AND CHARGES SCHEDULE FOR 2021/22

WASTE DISPOSAL FEES - BROWNS RANGE

ITEM	CURRENT FEE (INCL GST)	PROPOSED CHANGE
Service Fee	\$37.00	No change. (Review after 12 months waste data available.)
Tyre Disposal Fees <ul style="list-style-type: none"> • Car & Motorbike Tyres • 4WD & Light Truck Tyres • Truck Tyres • Tractor/Earthmoving Tyres (Small - up to 1 metre) • Tractor/Earthmoving Tyres (Large - over 1 metre) 	\$10.00 \$15.00 \$35.00 \$95.00 \$150.00 (Tyres attached to rims attract double fee.)	\$12.50 \$15.00 \$35.00 \$135.00 \$350.00 (Tyres attached to rims attract double fee.)
Mobile Trader's Waste Fee	\$10.00 per day	\$0 (Waste charge for mobile trader to be included within license fee and assessed with 2022/23 fees and charges process.)
External District Waste Fee	\$250.00 per tonne	No change.



1 Site Plan - Platform Options
Scale 1:500



OPTION 1



OPTION 2

BLOWHOLES PLATFORM

005 SD-01 B February 2022



ABN 29 880 923 048

35 Holden Street, Carnarvon WA 6701
PO Box 376, Carnarvon WA 6701

E: mal@mkbindustries.net
M: 0419 049 510

Date: 29th October 2021

Attention: Dave Nielson,

Shire of Carnarvon
34 Francis Street
Carnarvon WA 6701

RE: **MKB SKIP BINS – EXTERNAL DISTRICT WASTE CHARGES**

Hi Dave,

As per our telephone conversation today, I mentioned that we have currently been tendering on projects out of the Carnarvon town for MKB Skip Bins and waste disposal.

For the tender that I am currently tendering for, I am competing against Geraldton companies. For the waste disposal for out of town rubbish rates, the comparison that the City of Geraldton charge is:

- \$130.00 per tonne

The Shire of Carnarvon External District Waste charge is:

- \$250.00 per tonne

The difference between the two facilities is \$120.00 per tonne which makes it basically impossible for MKB Skip Bins to be competitive and have any possibility of securing the tender.

I am asking that if there is any chance that the Shire of Carnarvon could reduce the tonnage rate for external district waste rates in this area?



Also, previously we have been sorting out our skip bins waste to make it more cost effective for us, and to save in the builders waste landfill. All of our timber has been going into green waste at zero cost to help with our funding of sorting out of all our waste.

Under the new charges is not viable for us to separate the timber out any longer, as it is not of any real saving for us. If you could please investigate into whether anything can be done to change this.

MKB Skip Industries and MKB Skip Bins employ eight (8) local employees and obviously contributes to the town of Carnarvon's economy.

If you could please consider my requests in the reduction of these charges.

Kind Regards

A handwritten signature in black ink, appearing to read 'Malcolm Bail', written in a cursive style.

Malcolm Bail
MKB SKIP BINS