



**Shire of Carnarvon**  
**Local Planning Scheme No. 13**

**Amendment No. 12**

*Summary of Amendment Details*

1. *Reclassify Lot 556 on Deposited Plan 415840 from 'Foreshore' reserve to 'Tourism' zone;*
2. *Within Schedule 3, No 12 insert Lot 556 within the Description of land column; and*
3. *Update the scheme map accordingly.*

## **Planning and Development Act 2005**

### **RESOLUTION TO PREPARE AMENDMENT TO LOCAL PLANNING SCHEME**

#### ***Shire of Carnarvon Local Planning Scheme 13 Amendment Number 12***

**Resolved that the Local Government, pursuant to section 75 of the *Planning and Development Act 2005*, amend the above Local Planning Scheme by:**

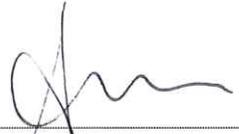
1. *Reclassify Lot 556 on Deposited Plan 415840 from 'Foreshore' reserve to 'Tourism' zone;*
2. *Within Schedule 3, No 12 insert Lot 556 within the Description of land column; and*
3. *Update the scheme map accordingly.*

**The amendment is standard under the provisions of the *Planning and Development (Local Planning Schemes) Regulations 2015* for the following reason(s):**

[cf Reg 34 (a), (b), (e) and (f) under *standard amendment* in the *LPS Regs 2015*]

1. It is an amendment relating to a zone or reserve that is consistent with the objectives identified in the scheme for that zone or reserve;
2. It is an amendment that is consistent with a local planning strategy for the scheme that has been endorsed by the Commission;
3. It is an amendment that will have minimal impact on land in the scheme area that is not the subject of the amendment; and
4. It is an amendment that does not result in any significant environmental, social, economic or governance impacts on land within the scheme area.

**Dated this 22<sup>nd</sup> day of July 2025.**

  
\_\_\_\_\_  
**(Chief Executive Officer)**

## 1.0 PURPOSE OF AMENDMENT

The purpose of this amendment is to zone lot 556 on Deposited Plan 415840 as **Tourism** under the *Shire of Carnarvon Local Planning Scheme (LPS) 13* in order to allow **future expansion of existing tourism development** within the node — **as provided for in the overarching regional and local land use planning framework** and by **Special Purpose Lease L60263**.

## 2.0 LAND DESCRIPTION

### 2.1 Location

Lot 556, together with adjoining lot 161 on Deposited Plan 217418, comprise what is referred to as the '**Three Mile Camp Node**'. This node lies approximately 150 kilometres due north of the town of Carnarvon and just under 10 kilometres due south of the Gnaraloo station homestead (as seen in **Figure 1** below), in the locality of Lyndon and within the Carnarvon local government district.



FIGURE 1 — THREE MILE CAMP LOCATION

The spatial extent of the **Three Mile Camp Node** is shown in **Figure 2** below.



**FIGURE 2 – THREE MILE CAMP NODE**

## **2.2 Survey Description**

The subject land is more particularly described as **Lot 556 on Deposited Plan 415840** in the land district of Lyndon. It comprises an area of **22.7738 hectares**.

## **2.3 Tenure**

The aforementioned lot is a registered Crown land title, and together with adjoining lot 161 on Deposited Plan 217418, is contained in **Special Purpose Lease (SPL) L060263** issued to Portframe Enterprises Pty Ltd until 30 August 2030, with an option to be renewed for a further 21 years.

A copy of the Crown land title is reproduced at **Attachment A** to this report whilst a copy of the L060263 registration is reproduced at **Attachment B** to this report.

This SPL is tied to the Gnaraloo pastoral lease (Lease No. L308/1983) of which Portframe Enterprises Pty Ltd is also the lessee.

The SPL cannot be separately reassigned, transferred, or be sublet to another entity, without first obtaining the approval of the Minister for Lands.

## **2.4 Physical Characteristics**

The Three Mile Camp node lies at the juncture of a cliff coast and a dune and cusped spit coast, in a semi-remote setting, immediately adjacent to the Indian Ocean. The cliff coast extends from Point Quobba to the Three Mile Camp node and is largely composed of low limestone cliffs with rocky shores and occasional pocket beaches.

Active parabolic dunes are observed adjacent to several of the pocket beaches and these dunes often extend landward onto the plateau area. Relict vegetated parabolic dunes occur along the seaward margin of this plateau for much of this coastal sector (WAPC, *Ningaloo Coast Regional Strategy - Carnarvon to Exmouth*, 2004).

A pocket beach extends northwards from the north-west corner of lot 556 into a parabolic dune. It is here where the dune and cusped spit coast commences, extending all the way to Exmouth. The Ningaloo Reef borders the site's adjacent shoreline.

The node is generally elevated 10 metres above the Australian Height Datum (AHD), however, the eastern half of it rises up over a north-south aligned vegetated parabolic dune (colloquially referred to as Scorpion Ridge).

Site vegetation is predominantly pindan with low trees (including clumps of tamarix trees – a noxious weed) and sparse shrub steppe.

### **3.0 BACKGROUND AND CONTEXT**

The proposed amendment is a culmination of actions - commencing from 2004 - to formally designate the 'Three Mile Camp Node' as a Tourism destination as provided for in the overarching regional and local land use planning frameworks.

In 2003 the WA government commenced a process to exclude from those pastoral leases fronting the Carnarvon and Ningaloo coasts, a strip of coastal land (at the time, notionally between 1 km and 2 km wide) for inclusion in a future public coastal reserve (now the **Nyngulu (Ningaloo) Coastal Reserve**).

It is understood that this proposed exclusion was a condition of those pastoral leases being renewed from 1 July 2015 (given the leases were due to expire on 30 June 2015).

As compensation for excluding their coastal frontage the State offered proposed agreements to the coastal pastoral lessees of a right to continue to access pastoral infrastructure within the exclusion area as well as opportunities to develop new or expand existing tourist accommodation uses and associated amenities in select locations within their pastoral lease (subject to applicable approval processes).

These locations were identified and designated as **tourism nodes** in the *Ningaloo Coast Regional Strategy - Carnarvon to Exmouth* (NCRS) and subsequently, in the *Gascoyne Planning and Infrastructure Framework* (GPIF) published in 2015 and the current *Shire of Carnarvon Local Planning Strategy* approved in 2017.

In respect to the Gnaraloo pastoral lease, the pastoral lessee accepted early on in the pastoral exclusion process the proposed exclusion of the lease's coastal frontage in exchange for the right to spatially expand the existing tourism facilities located in and around the Gnaraloo Homestead and at the Three Camp (both of which are contained in special purpose leases).

Subsequently, land survey plans were drawn up and negotiations commenced for the required land transactions and machinations pursuant to the *Land Administration Act 1997* and the *Land Administration Regulations 1998* and other related statutes, to **create lot 556 and incorporate it into an enlarged special purpose lease** (SPL 60263).

In December 2018 Deposited Plans 415911 and 415912 became ‘**in order for dealings**’. These survey plans denoted the upgraded tenure of the Gnaraloo pastoral station following completion of the aforementioned land transactions, including the designation of lot 556.

Just prior to this action (in November 2018), the Carnarvon Shire Council resolved to seek consent from the Minister for Planning to advertise the draft of its proposed *Local Planning Scheme (LPS) 13*.

This new scheme (to replace existing district planning schemes 10 and 11) proposed the introduction of a new **Tourism** zoning in order to designate land containing **existing** tourism use and development (where it is **the primary use**), and land identified and proposed for **new** tourism use and development (where it was also proposed as the **primary use**).

With DP’s 415911 and 415912 now in ‘order for dealings’ the boundaries and extent of the proposed Tourism zoning for the Three Mile Camp Node could be defined and mapped — and a subsequent **Tourism zoning applied to them in a finalised LPS 13**.

(NB: It is generally understood that the relevant local government is advised by the State Government when Deposited Plans comprising new allotments within its district become ‘in order for dealings’)

Given that the advertising of draft LPS 13 did not commence until March 2019, arguably, the proposed zoning of both lots 161 and 556 as Tourism could have been designated in the draft scheme prior to the advertising of it commencing — or at the very least, in the finalised scheme. As to why this did not occur is unknown to the proponent of this amendment.

Hence this proposed amendment.

#### **4.0 EXISTING LAND USE AND DEVELOPMENT**

Existing land use and development within the node primarily comprises 65 camping sites, augmented by 3 ablution facilities, a shop providing basic grocery items (and for guest reception), staff quarters (5 dongas), a shed housing a diesel generator, water supply tanks, and telecommunications infrastructure.

The camp sites and ablutions are located within lot 161. All other exiting infrastructure is located on the vegetated parabolic dune contained within lot 556.

## **5.0 INFRASTRUCTURE**

### **5.1 Vehicular Access**

Vehicular access to and from the node is via a single limestone/sandy track extending westwards from the Gnaraloo Road, about 4 kilometres from the southern boundary of the **Gnaraloo Homestead Node**, across Crown Reserve 53686 (the *Nyinggulu Coastal Reserve*), to the south-east corner of lot 556.

This road/track is not gazetted as a public (dedicated) road but is included in an easement in order to provide legal access across Crown Reserve 53686 (lot 911) to the node. This road/track also provides public access through the node to the '**Three Mile lagoon**' located immediately adjacent to the north west corner of the node, and to the popular surf break colloquially known as '**Tombstones**', located approximately 750 metres from the south-west corner of lot 161.

Presently, there are no known plans or proposals to dedicate the roads/tracks to these features as public roads.

### **5.2 Power Supply**

Power supply within the node is provided by a diesel generator housed in a relatively-soundproof structure located east of and behind the existing shop/office. It is reticulated to the shop/office and the node ablutions only.

### **5.3 Potable water**

Potable water is supplied by a pipeline extending from the Gnaraloo Homestead Node and is stored in tanks located adjacent to the diesel generator, east of and behind the existing shop/office. Likewise for the power supply it is only reticulated to the shop/office, staff accommodation,

and the node ablutions.

### **5.4 Wastewater disposal**

All wastewater generated from within the node is pumped through buried pipes to an existing onsite septic system.

### **5.5 Telecommunications**

Two (2) public telephones are provided within the shop/office adjacent car park for making telephone calls, however, mobile phone connectivity is very limited (due to the remoteness of the location).

A fee-paying internet service is provided by the lessee for the private use of staff working and residing onsite as well as for the shop/office operations.

## 6.0 STATE & REGIONAL PLANNING CONTEXT

### 6.1 *State Planning Policy (SPP) 6.3 – Ningaloo Coast (incorporating the Ningaloo Coast Regional Strategy – Carnarvon to Exmouth 2004)*

It is acknowledged that *SPP 6.3 – Ningaloo Coast* has application to the consideration of the proposed amendment.

This policy references the *Ningaloo Coast Regional Strategy – Carnarvon to Exmouth 2004* (NCRS), which is an over-arching land use planning and management strategy that guides and directs future development along the Western Australian coast extending between the Gascoyne River mouth (in the Shire of Carnarvon) and the western side of Exmouth Gulf (in the Shire of Exmouth).

The NCRS primarily comprises a **regional land use plan**, a **coastal tourism framework, planning and environmental guidelines** for sustainable tourism along the Ningaloo coast, and **land use structure plans** for the towns of Carnarvon, Exmouth and Coral Bay (these structure plans have since largely been superseded by local planning strategies and revised townsite land use structure plans contained within them).

The **regional land use plan recommends and denotes the Three Mile Camp Node as a ‘Minor Tourism Node’**.

A key feature of the Minor Tourism Node is that it is allowed to accommodate **up to 200 overnight visitors**, primarily in the form of camping although covered accommodation (such as an eco-lodge with a local focus) can be considered. The provision of supplies and services is generally limited.

The NCRS recommended the Three Mile Camp Node as a ‘Minor Tourism Node’ on the basis that the size of the node is adequate, it is environmentally stable, it has numerous attractions, has moderate distinctiveness, and moderate potential for expansion.

This node designates a **Tourism Focus Area** and a **Tourism Investigation Envelope**. The Tourism Focus Area is shown extending along the vegetated parabolic dune (aka ‘Scorpion Ridge’) contained in lot 556 with the balance of this lot, and all of lot 161, designated as a **Tourism Investigation Envelope**. The Tourism zoning proposed by this amendment generally reflects the **boundaries and extent of these areas** (see a reproduction of Figure 13 in the NCRS at **Attachment C** to this report).

### 6.2 Gascoyne Planning and Infrastructure Framework (GPIF)

This framework provides a **region-wide context** for land use planning within the Gascoyne region. A key feature of the framework was the establishment of a **settlement hierarchy** for the region comprising the following classifications:

- **Regional Centre**
- **Tourism Centre**
- **Tourism Node**
- **Minor Tourism Node**
- **Service Centre**

Together, the Gnarlaloo Homestead Node and Three Mile Camp Node were classified as a **Tourism Node**. Classifying the Three Mile Camp Node as a Tourism Node in the GPIF is generally consistent with its NCRS node classification. The criteria used to apply the Tourism Node classification is based upon —

- a small population base
- primarily geared to catering for the needs of tourists
- can experience significant seasonal population fluctuations
- primarily accommodates overnight visitors with necessary infrastructure to support this
- may offer basic and limited retail facilities—secondary to the core function of accommodation
- in the Gascoyne region, includes caravan parks remote from other activity centres

Again, the Tourism Zoning proposed by this amendment reflects the application of the GPIF ‘Tourism Node’ designation to the Three Mile Camp Node.

### **6.3 State Planning Policy (SPP) 3.7 – Bushfire**

Ordinarily, this policy applies to strategic planning proposals such as an amendment to a local planning scheme which proposes to reclassify land located within a Bushfire prone area either as a scheme reserve or zone — although the policy does not apply to such proposals where the subject land is classified as **Bushfire Prone Area 1** (being **urban areas**) on the State’s *Map of Bushfire Prone Areas*.

Being within a non-urban area, the Three Mile Camp Node is included in the **Bushfire Prone Area 2** classification. Given this, the proposed zoning of the Three Mile Camp Node to Tourism would, ordinarily, be subject to the application of SPP 3.7, especially the requirements of **Element 1 – Location** set out in the *Planning for Bushfire Guidelines* (Nov 2024) that accompanying SPP 3.7.

As the Three Mile Camp Node has already been identified and designated as a strategic tourism site via the overarching regional and local planning frameworks, it is understood that the application of SPP 3.7 to this amendment, especially the requirements of Element 1, is **considered unwarranted** at this point.

However, the detailed planning, design, and construction of any substantial future use and development proposed within the Three Mile Camp Node will be subject to

complying with relevant aspects and elements of SPP 3.7, the *Planning for Bushfire Guidelines*, and *Australian Standard AS 3959 – Construction of Buildings in Bushfire-Prone Areas*.

## 7.0 LOCAL PLANNING CONTEXT

### 7.1 Local Planning Strategy

The *Shire of Carnarvon Local Planning Strategy 2017* (endorsed by the WAPC, March 2017) denotes the Three Mile Camp Node as a '**Minor Tourism Node**'.

A **key strategy action** for the node was for it to be zoned '**Tourism**' under the Local Planning Scheme in order to reflect its **desired primary use as tourism**. However, the size and extent of the node was not defined in the strategy. Seemingly, the size and the extent of the node was to be defined as per Figure 13 in the NCRS.

### 7.2 Local Planning Scheme (LPS) 13

Presently, LPS 13 reserves lot 556 as '**Foreshore**'. This is considered **inappropriate** as a local planning scheme reserve is usually **applied to public lands set aside for public access and purposes**, such as conservation and/or recreation.

Reasons for including this lot in the Foreshore reservation is unknown although it may reflect '**planning action 2**' as described on **Figure 2: Shire of Carnarvon – Whole of Shire Strategy Map** in the *Shire of Carnarvon Local Planning Strategy* (2017). This planning action recommended that land along the coast (**regardless of tenure**) be reclassified to '**Environmental Conservation**'. This action, however, failed to acknowledge and respect the proposed agreement entered into between the State and the pastoral lessee for an expanded Three Mile Camp node (incorporating the 'Tourist Investigation Area' denoted in Figure 13 in the NCRS) which was being finalised at the time the strategy was being prepared.

**Schedule 3** in LPS 13 lists restricted uses for select parcels of land contained within the scheme area. Adjoining lot 161 (contained within SPL 60663) is included in this list with the use of the lot being restricted to the following use classes:

- Camping ground
- Caravan park
- Nature based park
- Workforce accommodation

Proposals to carry out these uses are subject to a range of conditions as listed in **Attachment D** to this report. These conditions will apply (where relevant) to any of the above uses proposed upon lot 556 should it be zoned Tourism.

### 7.3 Local Planning Policies

There are no adopted Local Planning Policies specifically applying to the node.

## 8.0 PROPOSAL

### 8.1 Description

The proposal is to amend LPS 13 as follows:

1. Delete the current '**Foreshore**' reserve designation extending over lot 556 and zoning the lot as '**Tourism**'; and
2. Insert lot 556 into the column **Description of land** of Row 12 in **Schedule 3 — Restricted Uses for land in the Scheme area**.

### 8.2 Opportunities, Constraints and Issues

At a regional planning level, the proposed zoning will aid in achieving a broad objective of the NCRS — enabling overnight visitor accommodation to be dispersed along the Ningaloo coast rather than concentrating it in a few key tourist nodes like Coral Bay where there is a heightened risk of adverse impacts upon adjacent natural environments (terrestrial and marine) as a consequence of the sheer weight of human visitation.

At the local planning level, the proposed zoning provides an opportunity to give **full effect** to the overarching land use planning regime or framework as it applies to the Three Mile Camp Node, namely the provision of **low-key** and **low-profile tourist development** (and associated **ancillary facilities** and **services**).

Except for being within a bushfire prone area, there are **no apparent or readily identifiable constraints** that will be generated by the proposed Tourism zoning.

There are **no significant nor designated environmentally-sensitive or heritage-protected areas** within or adjacent to the node. In essence, it is 'ring-locked' by the surrounding Nyinggulu (Ningaloo) Coastal Reserve and the adjacent Indian Ocean, **constraining** any further opportunities to expand the node (and hence, further development upon it).

The inclusion of lot 556 in Schedule 3 of LPS 13 will require the planning and design of any future development upon this lot to **comply or accord** with the conditions applied to adjoining lot 161 in the schedule. These conditions endeavour to **realise sensitively-designed land developments in harmony with their terrestrial and marine environments**.

## 9.0 PLANNING JUSTIFICATION

Justification for the proposed zoning is based upon the following:

- (i) It will reflect the designation of the Three Mile Camp Node for low-level and low-impact tourism use/development as **expressed in the overarching land use planning framework** — *State Planning Policy (SPP) 6.3 – Ningaloo Coast* (incorporating the *Ningaloo Coast Regional Strategy – Carnarvon to Exmouth*

2004), the *Gascoyne Planning and Infrastructure Framework* (GPIF), and the *Shire of Carnarvon Local Planning Strategy* (March 2017);

- (ii) Adjoining lot 161, which is also part of the Three Mile Camp Node, is already zoned as **Tourism**;
- (iii) It will provide for classes of land use capable of achieving or conforming to the objectives of the '**Tourism**' zone in LPS 13;
- (iv) It will also enable the development of the uses permitted by the Special Purpose Lease (SPL 62063) within the lease area (subject to relevant design considerations and approval processes);
- (v) It will allow for land uses **deemed unlikely to generate any significant adverse environmental, social, economic or governance impacts** within the Three Mile Camp zone nor upon the surrounding Nynggulu (Ningaloo) Coastal Reserve; and
- (vi) It will subject future use and development within the Three Mile Camp Node to **accord with an adopted Local Development Plan**, predicated upon the application of the '**Planning and Environmental Guidelines for Sustainable Tourism on the Ningaloo Coast**' contained within the *Ningaloo Coast Regional Strategy – Carnarvon to Exmouth 2004*.

COPY OF CROWN LAND TITLE TO LOT 556 ON DP 415840

WESTERN



AUSTRALIA

REGISTER NUMBER	
556/DP415840	
DUPLICATE SECTION	DATE DUPLICATE ISSUED
N/A	N/A

RECORD OF CERTIFICATE  
OF  
CROWN LAND TITLE  
UNDER THE TRANSFER OF LAND ACT 1893  
AND THE LAND ADMINISTRATION ACT 1997  
NO DUPLICATE CREATED

VOLUME LR3172 PAGE 223

The undermentioned land is Crown land in the name of the STATE OF WESTERN AUSTRALIA, subject to the interests and Status Orders shown in the first schedule which are in turn subject to the limitations, interests, encumbrances and notifications shown in the second schedule.

BGRoberts  
REGISTRAR OF TITLES



LAND DESCRIPTION:

LOT 556 ON DEPOSITED PLAN 415840

STATUS ORDER AND PRIMARY INTEREST HOLDER:  
(FIRST SCHEDULE)

STATUS ORDER/INTEREST: LEASEHOLD

PRIMARY INTEREST HOLDER: PORTFRAME ENTERPRISES PTY LTD OF POST OFFICE BOX 1233  
BOORAGOON WA 6954

(LC L060263 ) REGISTERED 19/2009

LIMITATIONS, INTERESTS, ENCUMBRANCES AND NOTIFICATIONS:  
(SECOND SCHEDULE)

1. L060263 LEASE SUBJECT TO THE TERMS AND CONDITIONS AS SET OUT IN THE LEASE.  
REGISTERED 19/2009.  
0959132 LEASE OF CROWN LAND AND AMALGAMATION ORDER. LAND INCLUDED INTO THE  
LEASEHOLD ESTATE REGISTERED 30/11/2021.

Warning A current search of the sketch of the land should be obtained where detail of position, dimensions or area of the lot is required  
Lot as described in the land description may be a lot or location.

-----END OF CERTIFICATE OF CROWN LAND TITLE-----

STATEMENTS:

The statements set out below are not intended to be nor should they be relied on as substitutes for inspection of the land and the relevant documents or for local government, legal, surveying or other professional advice.

SKETCH OF LAND:	DP415840
PREVIOUS TITLE:	LR3165-666
PROPERTY STREET ADDRESS:	NO STREET ADDRESS INFORMATION AVAILABLE
LOCAL GOVERNMENT AUTHORITY:	SHIRE OF CARNARVON
RESPONSIBLE AGENCY:	DEPARTMENT OF PLANNING, LANDS AND HERITAGE (SLSD)

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COPY OF CROWN LAND LEASE 60263 REGISTRATION

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**ORIGINAL**

**L 60263 L**

01 Sep 2009 14:39:00 Midland



REG \$ 110.00

**LEASE OF CROWN LAND (L)**

LODGED BY State Land Services

ADDRESS RDL - Mid West - Box 98C

PHONE No.  
 FAX No.

REFERENCE No: Michelle Goodwin 00785-1988-04RO PH

ISSUING BOX No

PREPARED BY State Land Services

ADDRESS RDL - Mid West - Box 98C

PHONE No.  
 FAX No.

INSTRUCT IF ANY DOCUMENTS ARE TO ISSUE TO OTHER THAN LODGING PARTY

**DUPLICATE LEASE IS TO ISSUE TO THE LESSEE**

TITLES, LEASES, DECLARATIONS ETC LODGED HEREWITH

- |                       |                 |
|-----------------------|-----------------|
| 1. Dup Lease 137/1990 | Received Items  |
| 2. Dup Lease          | Nos. 2          |
| 3.                    |                 |
| 4.                    | Receiving Clerk |
| 5.                    |                 |
| 6.                    |                 |

**INSTRUCTIONS**

- If insufficient space in any section, Additional Sheet Form B1 should be used with appropriate headings. The boxed sections should only contain the words "See Annexure".
- Additional Sheets shall be numbered consecutively and bound to this document by staples along the left margin prior to execution by parties.
- No alteration should be made by erasure. The words rejected should be scored through and those substituted typed or written above them, the alteration being initialled by the person signing this document and their witnesses.
- Duplicates are not issued for Crown Land Titles.

**NOTES**

- DESCRIPTION OF LAND**  
 Lot and Diagram/Plan number or Location name and number to be stated.  
 Extent - Whole, part or balance of the land comprised in the Certificate of Crown Land Title to be stated.  
 The Certificate of Crown Land Title Volume and Folio number to be stated.
- ENCUMBRANCES**  
 To be identified by nature and number, if none show "nil".
- LESSOR**  
 State full name and address of the Lessor(s) and the address(es) to which future notices can be sent.
- LESSEE**  
 State full name and address of the Lessee(s) and the address(es) to which future notices can be sent.
- TERM OF LEASE**  
 Term to be stated in years, months and days.  
 Commencement date to be date, month and year. Options to renew to be shown.
- RECITE ANY EASEMENTS TO BE CREATED**  
 Here set forth Easements to be created as appurtenant to the lease commencing with the words "together with" and/or any Reservations hereby created encumbering the lease commencing with the words "reserving to".
- RENTAL**  
 State amount in words.
- PAYMENT TERMS**  
 State terms of payment. Eg, by instalments of \$... payable on the ... day of each month/the months of ... in each year, commencing with a payment of \$... on or before the day of .../execution of this lease by the Lessee.
- EXECUTION**  
 A separate attestation is required for every person signing this document. Each signature should be separately witnessed by an Adult Person. The full name, address and occupation of the witness must be stated.

**EXAMINED**  
 Lodged  
 in dup

092563-002



Registered pursuant to the provisions of the TRANSFER OF LAND ACT 1893 as amended on the day and time shown above and particulars entered in the Register.



COPY OF CROWN LAND LEASE 60263 REGISTRATION (continued)

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ATTESTATION SHEET

Dated this 1st day of September In the year 2009

LESSOR/S SIGN HERE (NOTE 9)

Signed \_\_\_\_\_ Signed \_\_\_\_\_

Signed for the STATE OF WESTERN AUSTRALIA  
for and on behalf of the MINISTER FOR LANDS by  
[Signature]  
STEVEN BURGESS  
(Print full name)  
Manager State Lands, Mid West  
Department of Regional Development and Lands  
pursuant to a delegation of the Minister for Lands powers  
under section 9 of the Land Administration Act 1997  
in the presence of:  
[Signature]  
Michelle Leanne Zaris  
(Print full name)  
Position: Senior State Land Officer  
Department of Regional Development and Lands

LESSEE/S SIGN HERE (NOTE 9)

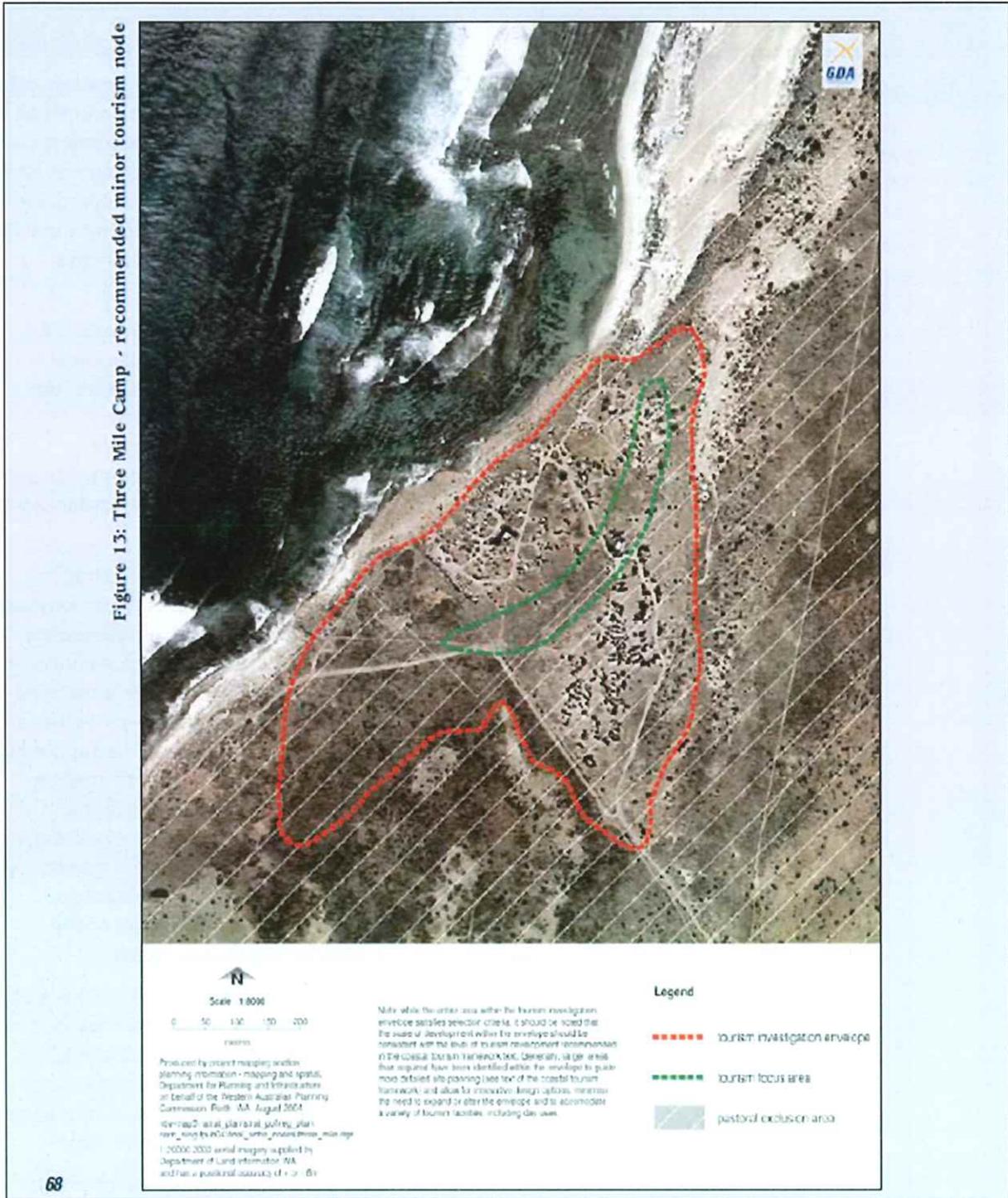
Signed [Signature] Signed The Common Seal of  
Norman Paul Richardson Portframe Enterprises Pty  
Sole Director/Secretary Ltd was hereinto affixed  
in the presence of

[Signature]  
presence of

**PORTFRAME  
ENTERPRISES  
PTY LTD  
A.C.N. 114 313 870  
COMMON SEAL**

see  
J350015  
K9A6113

COPY OF NINGALOO COAST REGIONAL STRATEGY FIGURE 13



EXTRACT COPY OF LPS 13, SCHEDULE 3 — RESTRICTED USES FOR LAND IN SCHEME AREA

No.	Description of land	Restricted Use	Conditions
12	Lot 161 Lyndon <i>Three Mile Camp</i> <i>Minor Tourism</i> <i>Node</i>	Camping Ground Caravan Park Nature based Park Workforce Accommodation	<ol style="list-style-type: none"> <li data-bbox="890 376 1428 651">1. Notwithstanding any other provision of the Scheme, a person shall not commence or carry out any works or development, other than for a single house, without first having applied for and obtained the approval of the local government under Part 8 and Part 9 of the deemed provisions, unless condition (2) below.</li> <li data-bbox="890 674 1428 949">2. The local government shall require the preparation and approval of a Local Development Plan under Part 6 of the deemed provisions. The Local Development Plan may include exemptions from the requirement to obtain development approval in accordance with condition (1) above.</li> <li data-bbox="890 972 1428 1458">3. The Local Development Plan shall be supported by information to demonstrate that the environmental and landscape outcomes of development are consistent with World Heritage and State planning and environmental objectives, values and principles for the locality. The supporting information and assessment shall be prepared having due regard to the 'Planning and environmental guidelines for sustainable tourism on the Ningaloo coast' (Ningaloo Coast Regional Strategy Carnarvon to Exmouth 2004) or any guidelines that supersedes it.</li> <li data-bbox="890 1480 1428 1682">4. The local government shall provide a copy of a Local Development Plan to the State agency responsible for biodiversity and conservation and the Ningaloo Coast World Heritage Advisory Committee under Clause 50 of the deemed provisions.</li> <li data-bbox="890 1704 1428 1872">5. Where development standards are not prescribed in a Local Development Plan approved under the Scheme, the general development standards of the Scheme shall apply.</li> <li data-bbox="890 1895 1428 2024">6. The local government may require the applicant to advertise an application for development approval in accordance with Clause 64 of the deemed provisions.</li> </ol>

EXTRACT COPY OF LPS 13, SCHEDULE 3 — RESTRICTED USES FOR LAND IN SCHEME AREA (continued)

No.	Description of land	Restricted Use	Conditions
			7. The local government shall provide a copy of a development application to the State agency responsible for biodiversity and conservation under Clause 66 of the deemed provisions where the proposed work or use may impact on the marine park or conservation estate.

**Planning and Development Act 2005**

**RESOLUTION TO AMEND LOCAL PLANNING SCHEME**

***Shire of Carnarvon Local Planning Scheme 13***

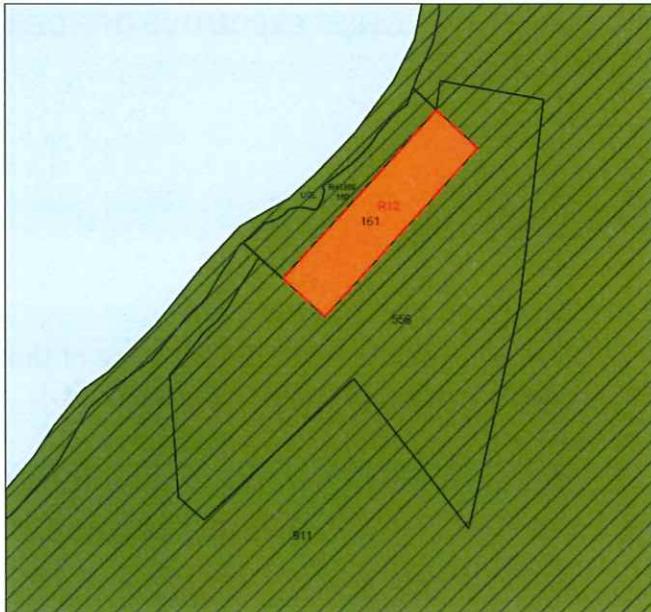
***Amendment Number 12***

**Resolved that the Local Government pursuant to section 75 of the *Planning and Development Act 2005*, amend the above Local Planning Scheme by:**

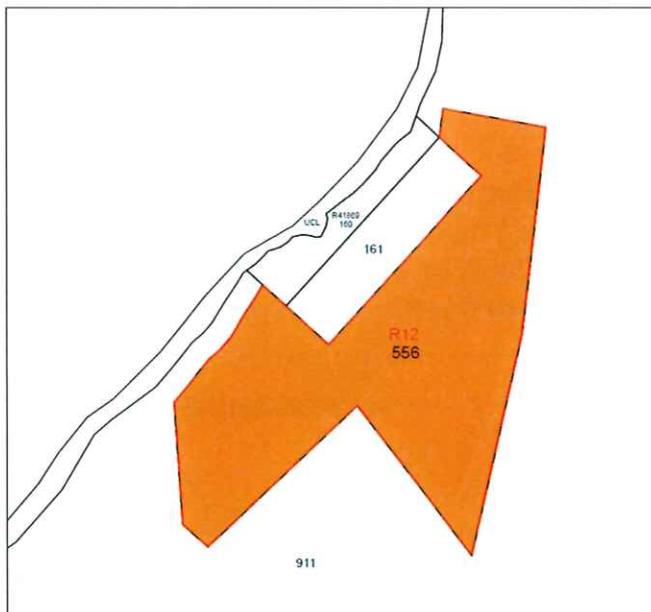
1. *Reclassify Lot 556 on Deposited Plan 415840 from 'Foreshore' reserve to 'Tourism' zone;*
2. *Within Schedule 3, No 12 insert Lot 556 within the Description of land column; and*
3. *Update the scheme map accordingly.*

**Shire of Carnarvon Local Planning Scheme 13  
Amendment Number 12**

**'Three Mile Camp Node'**  
(Special Purpose Lease 60263)  
Lot 161 on DP 217418 and lot 556 on DP 415840



EXISTING SCHEME MAP



SCHEME AMENDMENT MAP

MAPS LEGEND

LOCAL SCHEME RESERVES	
	FORESHORE

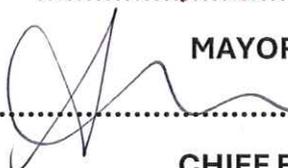
LOCAL SCHEME ZONES	
	TOURISM

OTHER CATEGORIES	
	RESTRICTED USES

**COUNCIL ADOPTION**

This Standard Amendment was adopted by resolution of the Council of the Shire of Carnarvon at the Ordinary Meeting of the Council held on the 22<sup>nd</sup> day of July, 2025.

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.....  
**MAYOR/SHIRE PRESIDENT**  
.....  
  
.....  
**CHIEF EXECUTIVE OFFICER**

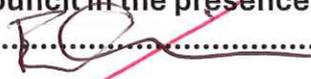
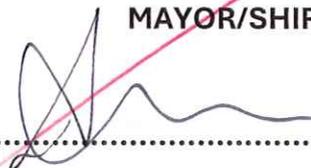
**COUNCIL RESOLUTION TO ADVERTISE**

By resolution of the Council of the Shire of Carnarvon at the Ordinary Meeting of the Council held on the 22<sup>nd</sup> day of July, 2025, proceed to advertise this Amendment.

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.....  
**MAYOR/SHIRE PRESIDENT**  
.....  
  
.....  
**CHIEF EXECUTIVE OFFICER**

**COUNCIL RECOMMENDATION**

This Amendment is recommended for support by resolution of the Shire of Carnarvon at the Ordinary Meeting of the Council held on the [ number ] day of [ month ], 20[ year ] and the Common Seal of the Shire of Carnarvon was hereunto affixed by the authority of a resolution of the Council in the presence of:

.....  
  
.....  
**MAYOR/SHIRE PRESIDENT**  
.....  
  
.....  
**CHIEF EXECUTIVE OFFICER**

**WAPC ENDORSEMENT (r.63)**

.....

**DELEGATED UNDER S.16 OF  
THE P&D ACT 2005**

**DATE.....**

**APPROVAL GRANTED**

.....

**MINISTER FOR PLANNING**

**DATE.....**

